

# Revised Agenda Heritage Orangeville Committee Meeting

Thursday, October 21, 2021, 7:00 p.m. Chair and Secretary Participating Remotely The Corporation of the Town of Orangeville

#### **NOTICE**

Due to efforts to contain the spread of COVID-19, the Council Chambers at Town Hall will not be open to the public to attend Heritage Orangeville meetings until further notice.

Prior to be meeting, written comments may be sent to the Secretary of the Heritage Orangeville Committee by email at heritage@orangeville.ca. Such written comments will become part of the public record.

Members of the public may access the meeting on the above-noted date and time by telephone at: +1 289-801-5774,,436040976# Canada, Brampton

Phone Conference ID: 436 040 976#

Please note that your full name and comments will be part of the public record and will be included in the minutes of the meeting.

#### **Accessibility Accommodations**

If you require access to information in an alternate format, please contact the Clerk's division by phone at 519-941-0440 x 2256 or via email at clerksdept@orangeville.ca

			Pages		
1.	Call 1	to Order	J		
2.	Discl	osures of (Direct or Indirect) Pecuniary Interest			
3.	Adoption of Minutes of Previous Meeting				
	Recommendations: That the minutes of the following meeting are approved:				
4.	Presentations				
5.	Items for Discussion and Reports				
	5.1.	Report from B. Ward, Manager of Planning - 257 Broadway Demolition	6		
	5.2.	Report from B. Ward, Manager of Planning - Town Hall Chimney Repair and Accessible Ramp	19		
	5.3.	Report from A. Graham, Records Coordinator - Historical Photos Donation to Museum of Dufferin	23		
	5.4.	Heritage Banner - Update			
	5.5.	Filming Footsteps of our Past - Updates			

	5.6.	2022 Committee Meeting Calendar	28		
6.	Faca	de Improvement Applications			
7.	Corre	Correspondence			
	7.1.	33 Church Street Demo - Carried	29		
	<b>*</b> 7.2.	2022 Work Plan - Update on Requested Deadline for Calendar	30		
8.	New	Business			
9. Date of Next Meeting					
	The next meeting is scheduled for Thursday November 18, 2021.				
10	Δdio	irnment			



#### Minutes of Heritage Orangeville

#### September 16, 2021, 7:00 p.m. Chair and Secretary Participating Remotely The Corporation of the Town of Orangeville

Members Present: Councillor D. Sherwood

L. Addy L. Banks G. Sarazin

Members Absent: M. Hauck

M. Beattie

Staff Present: B. Ward, Manager of Planning

A. Graham, Secretary

#### 1. Call to Order

The meeting was called to order at 7:00 P.M.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

3. Adoption of Minutes of Previous Meeting

Recommendation: 2021-038

Moved by G. Sarazin

That the minutes of the following meeting are approved:

**Carried Unanimously** 

#### 4. Presentations

#### 5. Items for Discussion and Reports

#### 5.1 Memo from Larysa Russell, Senior Planner - 33-37 Broadway

The Committee received a report on a new nine floor development at 33-37 Broadway. They are seeking a zoning amendment to increase the height of the structure. It was confirmed that parking for residents would occupy the second, third and fourth floors, with residential living above and commercial occupancy on the ground floor. Due to water table and flooding issues in this area of town, underground parking was unfeasible. This application was circulated to the Committee for feedback due to its proximity to the downtown core.

Brandon Ward showed the Committee early design renderings for the structure to assist the Committee with their comments regarding design. A third party peer review may also be completed to provide more insight to

certain design elements. There is no indication at this time for rental units at this location.

It was suggested that the design of 60-62 Broadway is a good example of a design more in keeping with the downtown core. The Committee discussed how the final draft of this site design would set a standard with how future proposals are treated.

Recommendation: 2021-039

Moved by L. Addy

That the Committee agree that there is merit with the orientation of the site, and that the most significant concern is with the excessive height and the design of the building. It is suggested that Council consider this area of Broadway the gateway to the downtown core, and therefore it is the Committee's wish that the design of the structure resemble the aesthetic of the downtown.

Carried

#### 5.2 Heritage Orangeville Annual Report and Work Plan

The Committee discussed the work plan for 2022.

Recommendation: 2021-040

Moved by Councillor Sherwood

That the Committee at this time propose the following projects for the 2022 work plan:

- 1. Heritage Week Banner
- 2. Quarterly Newsletter
- 3. Heritage Educations
- 4. 2022 Heritage Calendar
- 5. Filming of Select Heritage Homes from the Footsteps of our Past booklet.

Carried

#### 5.3 Heritage Orangeville 2022 Meetings Calendar

The Committee will decide on the 2022 meeting schedule after clarification regarding the proposed hiatus of meetings for October to December due to the 2022 election.

#### 5.4 "Heritage through the Ages" 2022 Calendar - Update

This project is in progress, with the historical write-ups complete and homes selected for photography. The next stage is acquiring approval from homeowners and taking pictures.

#### 5.5 Quarterly Newsletter - Autumn - Update

The content has been completed and the Committee awaits copyright permissions to use the photographs. A draft should be ready for the next Committee meeting.

#### 5.6 Heritage Banner Project - Volunteer Leads

Councillor Sherwood, Gary Sarazin and Lynda Addy volunteered to take the lead on this project and meet to discuss photograph selection.

#### 6. Facade Improvement Applications

### 6.1 Report from Brandon Ward, Manager of Planning - Facade Grant Application - Update - 7 Mill Street

Changes to window and door design proposed due to security requirements.

Recommendation: 2021-041

Moved by L. Addy

That the Committee approve the new window and door design as there is little change to design and no change to cost.

Carried

#### 7. Correspondence

Recommendation: 2021-042

Moved by Councillor Sherwood

That the Committee receive the correspondence and donate the postcard from Heather Peters to the Museum of Dufferin.

Carried

- 7.1 Notice of Decision 101 John Street
- 7.2 Notice of Decision 3 Amanda Street
- 7.3 Notice of Decision 33 Church Street
- 7.4 Boulevard Cafe Permits
- 7.5 Letter and Postcard Ms. Heather Peters
- 7.6 CHO Summer Newsletter 2021
- 7.7 Introduction of Heritage Matters More Newsletter August 2021
- 7.8 Historical Paint Colour Palette Query

The Benjamin Moore Historical collection is suggested for use on historical facades. As well, a retailer can match the colour of paint from a sample from the façade.

#### 8. New Business

None.

#### 9. Date of Next Meeting

The next meeting is scheduled for Thursday October 21, 2021 at 7:00 P.M.

#### 10. Adjournment

The meeting concluded at 8:08 P.M.



Subject: 257 Broadway, Demolition on a Municipal Heritage

**Register Property** 

**Department:** Infrastructure Services

**Division:** Planning [Report Number]

Meeting Date: 2021-10-21

#### Recommendations

That Heritage Orangeville receives and reviews the information contained in this report and provides comment to the Planning Division regarding this matter.

#### **Background and Analysis**

The subject property is known municipally as 257 Broadway and is located on the north side of Broadway, between Louisa Street to the west and Faulkner Street to the east. The property is situated within a mixed-use commercial/residential area containing many properties of cultural heritage and value or interest. There is a two-storey detached building situated on the property, which was built in 1876. This property is listed on the Municipal Register of Non-Designated Heritage Properties of Cultural Heritage Value or Interest. A heritage summary of the subject property obtained from the Town's interactive mapping tool for Heritage Properties is included in Attachment 1.

The owner has advised the Town of their intent to demolish a two-storey portion of the rear of the existing building. The area of this demolition is 26.2 square-metres. The one-storey area below the two-storey portion to be demolished will remain. A new 31.9 square-metre one-storey addition will be constructed adjacent to the remaining one-storey building. The site plan showing the location of the demolition and proposed addition are included as Attachment 2. Site photos are included in Attachment 3.

The Ontario Heritage Act ("the Act") requires the owner of a listed property to give Council at least 60 days written notice of an intention to demolish or remove a structure from the property, together with plans or other required information that justify the demolition or removal. Council may agree to the demolition or initiate the process to provide further protection of the property through designation under the Part IV of the Act. Council must consult with Heritage Orangeville before allowing the demolition or removal of a structure from a listed property.

The Planning Division is seeking comments from the Committee with respect to the demolition of the two-storey portion of the building, in terms of any impacts to the heritage attributes associated with the listing of this non-designated property on the Municipal Heritage Register.

#### **Strategic Alignment**

#### **Orangeville Forward – Strategic Plan**

Priority Area: Community Stewardship

Objective: Maintain and Protect our Built and Natural Heritage

#### **Sustainable Neighbourhood Action Plan**

Theme: Land Use and Planning

Strategy: Co-ordinate land use and infrastructure planning to promote healthy,

liveable and safe communities.

#### **Notice Provisions**

There are no public notification provisions applicable to this report.

#### **Financial Impact**

There are no financial impacts anticipated to the Town arising from this report.

Respectfully submitted Prepared by

Brandon Ward, MCIP, RPP Mary Adams

Manager, Planning, Infrastructure Services Planning Administrator, Infrastructure

Services

**Attachment(s):** 1. Heritage Orangeville Building Summary

2. Site Plan

3. Site Photos

# 257 Broadway

**YearBuilt Status** 1887 MunReg - Non Designated

Circa No Bylaw null

**Building Type** Commercial **District** Downtown

Donald McDonald **Original Owner Plaque** null

**Times Partially Demoed** 0 **Full Demolition** 

Year of Full Demo null

null

No

#### **Architectual Style**

**Reason for Demos** 

#### Italianate

#### **Architectual Description**

A two storey structure in the Italaianate style, it has a cross hip roof and an L-shaped footprint. A chimney is found in the centre of the roof and appears to have been parged. The eaves are decorated with paired brackets and a plain wall cornice moulding. The house is clad in red brick with buff brick quoining and voussoirs. The front façade has a westerly sisngle storey bay with a hip roof. The original window openings have shallow arch tops with buff brick soldiering with skewbacks and stone sills. Some window openings have been fully or partially bricked in. All have replacement sashes of varying types; the upper front window have a large rectangular pane with a smaller awning sash underneath while the bay window has single oane rectangular replacements. The main entrance door has an arch top transom and a replacement half lite door. A wrap-around porch is supported by low brick piers topped with stone slabs then tapered columns under a plain flat architrave and a hip roof. The porch has a balustrade with plain pickets and hand rail. There is another door without transom where the porch terminates at the east wing.

#### **Historical Description**

Robert Tucker purchased Lot 9 in 1869. His widow, Bethesda, owned the property until 1884 when she sold to Sarah Ann Kelly for \$325. Sarah and her husband John Jacob, a tinsmith, took out several mortgages selling to Donald McDonald in 1885 for \$711. McDonald took out a large mortgage in 1888 which was probably the year this home was erected. He sold to Nathan Clark in 1892 for \$2400. Clark sold in 1905 to Matthew McPherson.

Property information composed by the Heritage Orangeville Committee

#### **Photos**



#### Location



# HARRISON HOUSE 257 BROADWAY AVENUE

ORANGEVILLE ONTARIO

PROJECT NUMBER 20-134



SURVEY

ARCHITECTURAL

A1.1 SITE PLAN

A2.1 PLANS AND DETAILS

A2.2 PLANS AND DETAILS

A4.1 REFLECTED CEILING PLANS

A5.1 ELEVATIONS

A6.1 BUILDING SECTIONS & SECTION DETAILS
A7.1 WALL SECTIONS & DETAILS

A8.1 STAIR PLANS & DETAILS

A9.1 INTERIOR ELEVATIONS AND MILLWORK

A10.1 DOOR AND WINDOW SCHEDULES AND TYPES

A10.2 FLOOR FINISHES SCHEDULE AND PLANS

A11.1 OBC - MATRIX AND PLANS



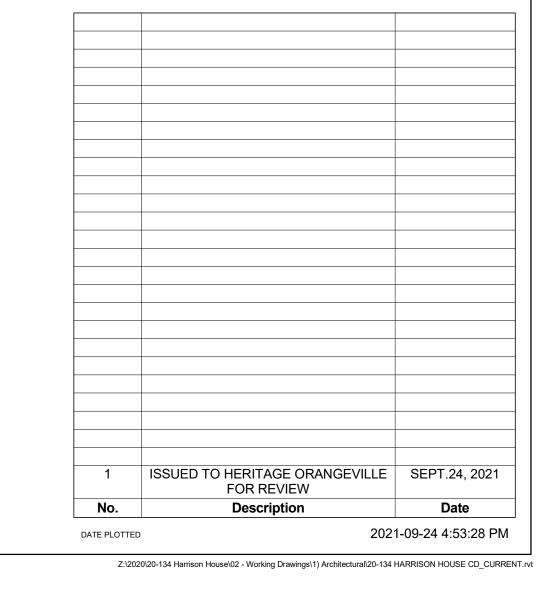
176 Speedvale Avenue West Guelph, Ontario N1H 1C3 Tel: 519.763.2000 Fax: 519.824.2000 www.tacomaengineers.com

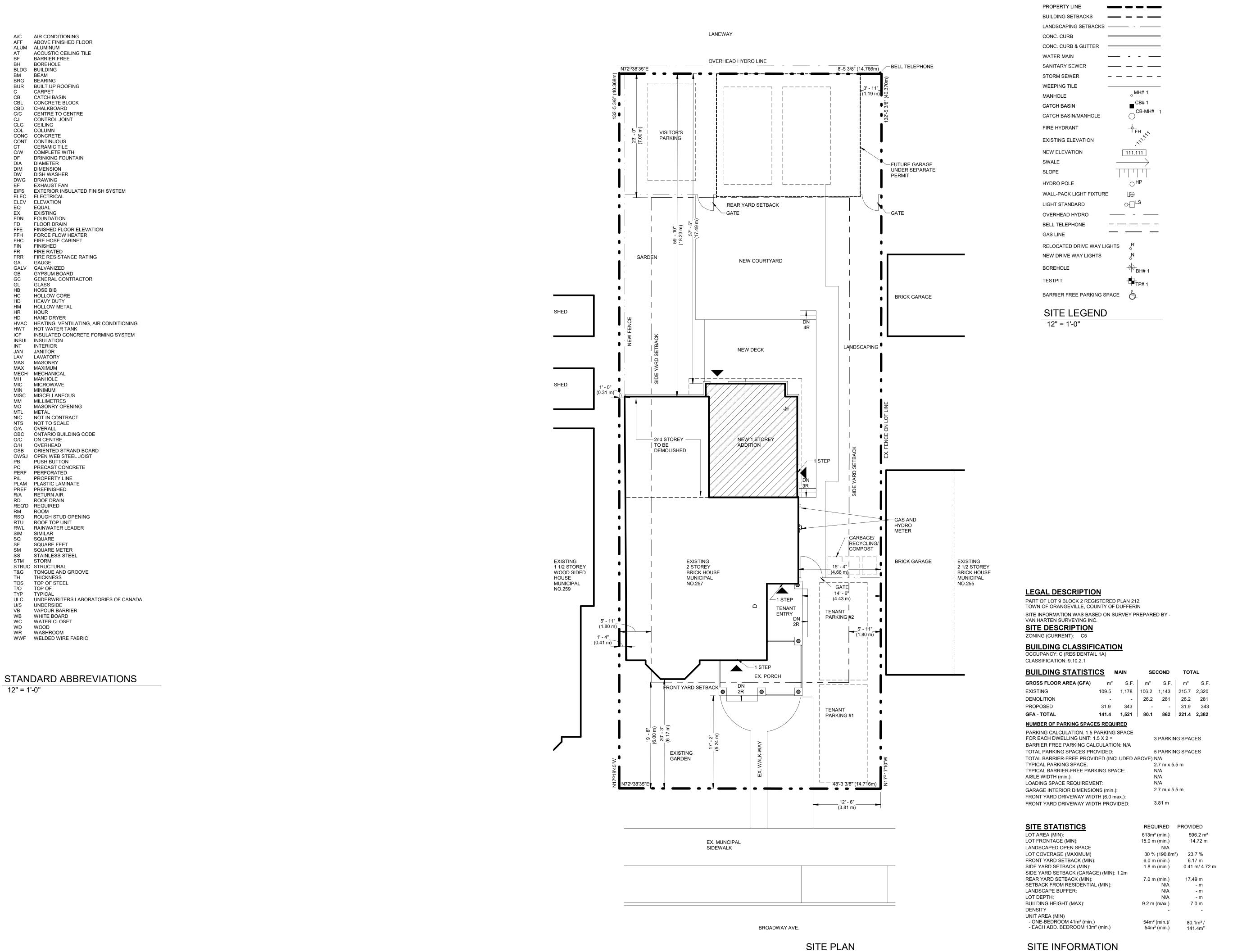
STRUCTURAL



ARCHITECT



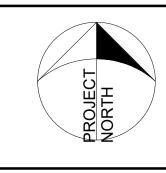


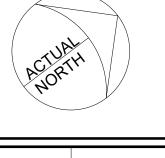


**KEY PLAN** 

**DIMENSIONS & SCALE NOTICE:** CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

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ISSUED TO HERITAGE ORANGEVILLE SEPT.24, 2021 FOR REVIEW Date Description



45 MILL STREET, ORANGEVILLE, ON. L9W 2M4 TEL: (519) 941-0912 FAX: (519) 941-9142

CONSULTANT

ADDITION AND RENOVATION PROJECT

**HARRISON HOUSE** 

ORANGEVILLE 257 BROADWAY AVENUE ONTARIO SHEET TITLE

**SITE PLAN** 

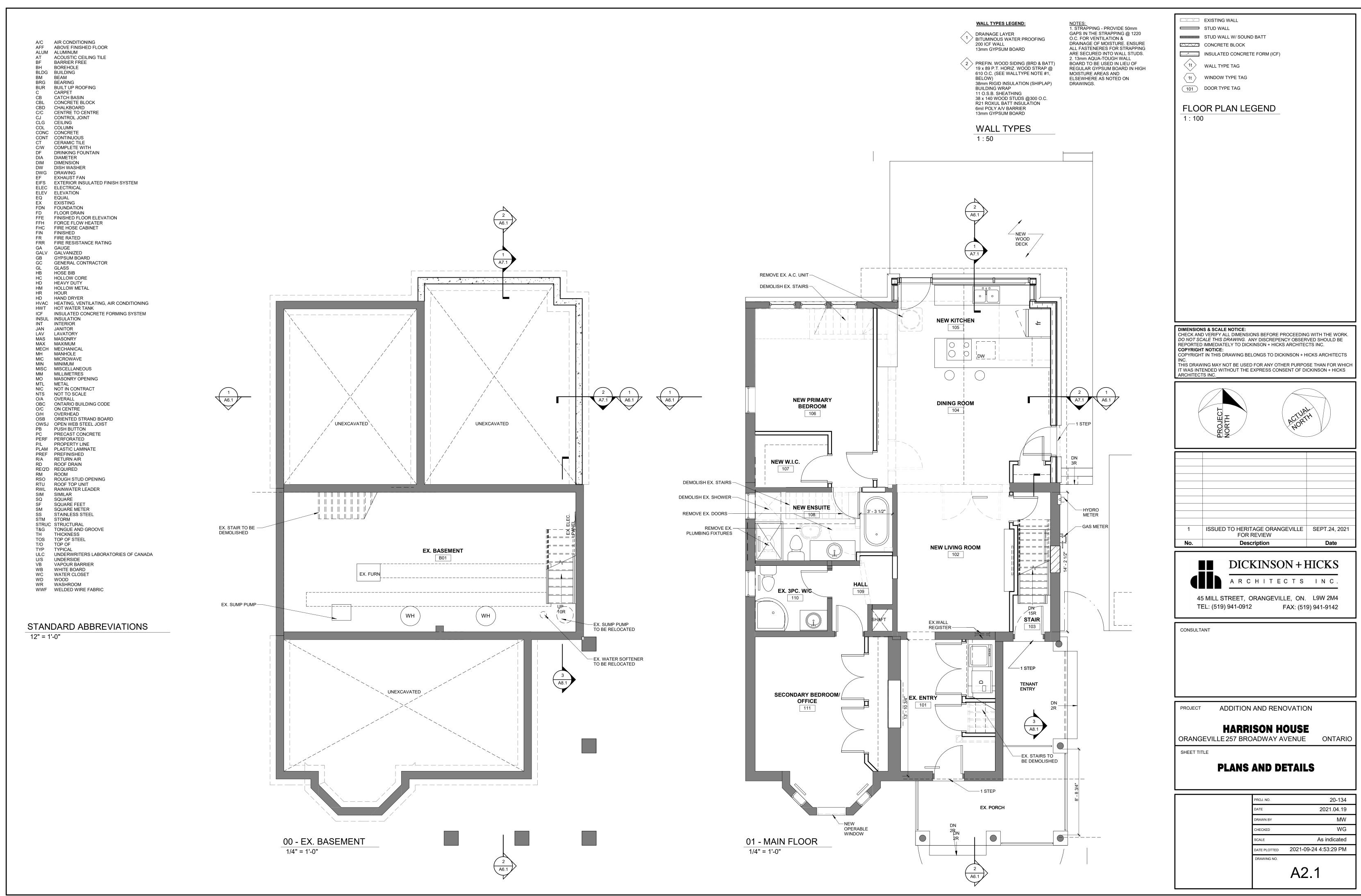
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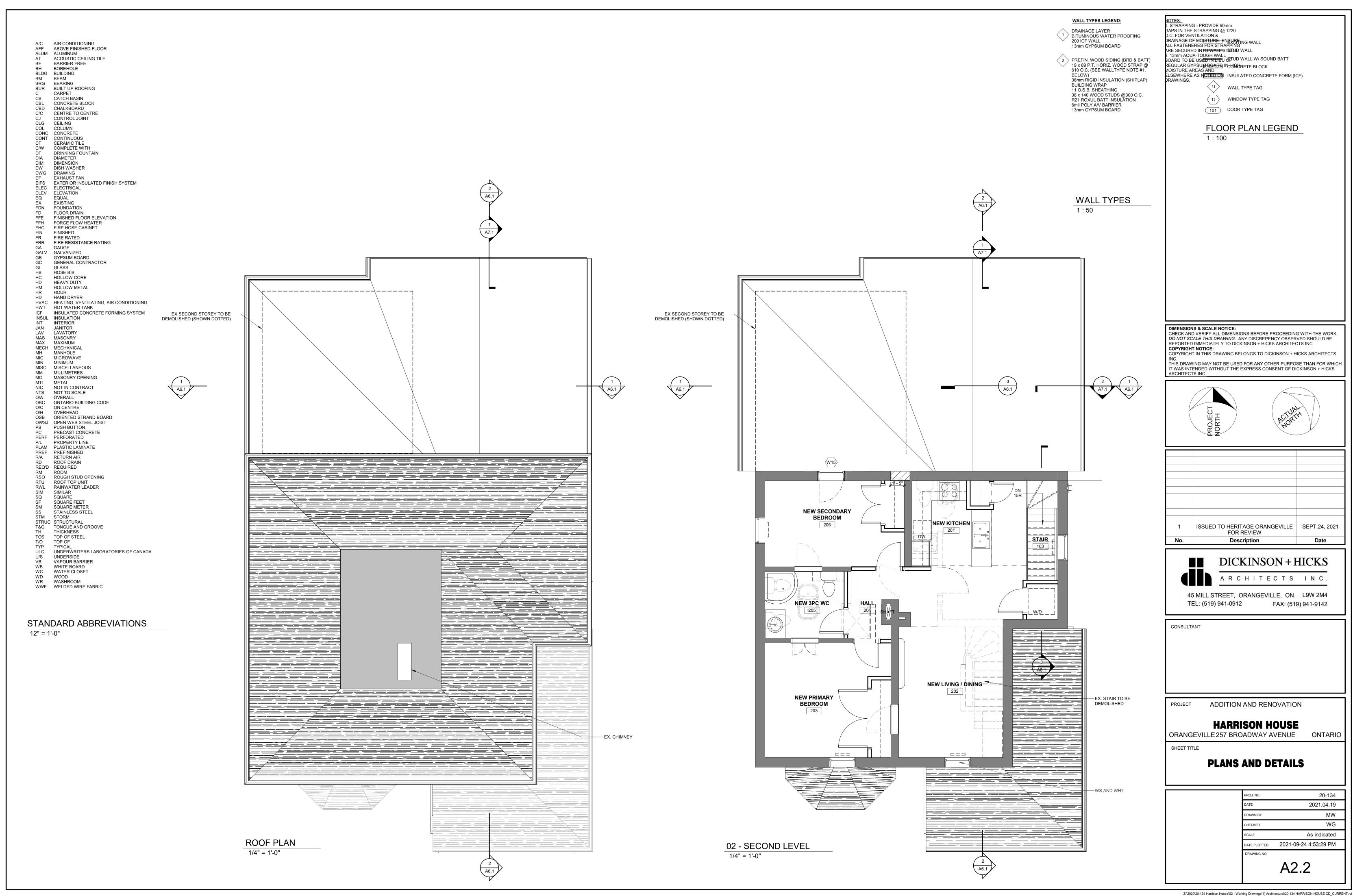
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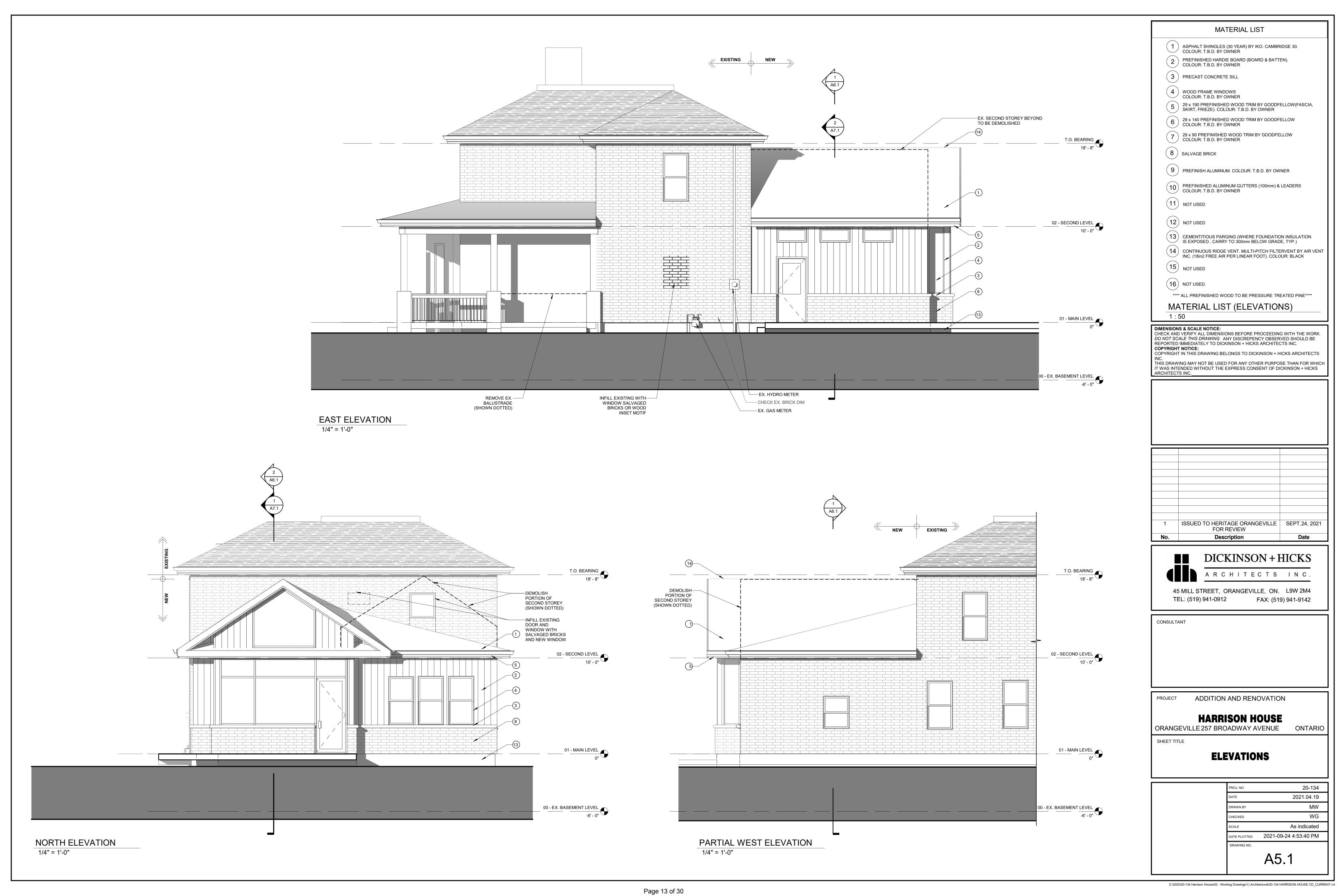
Z:\2020\20-134 Harrison House\02 - Working Drawings\1) Architectural\20-134 HARRISON HOUSE CD\_CURRENT.rvt

1/8" = 1'-0"





Page 12 of 30

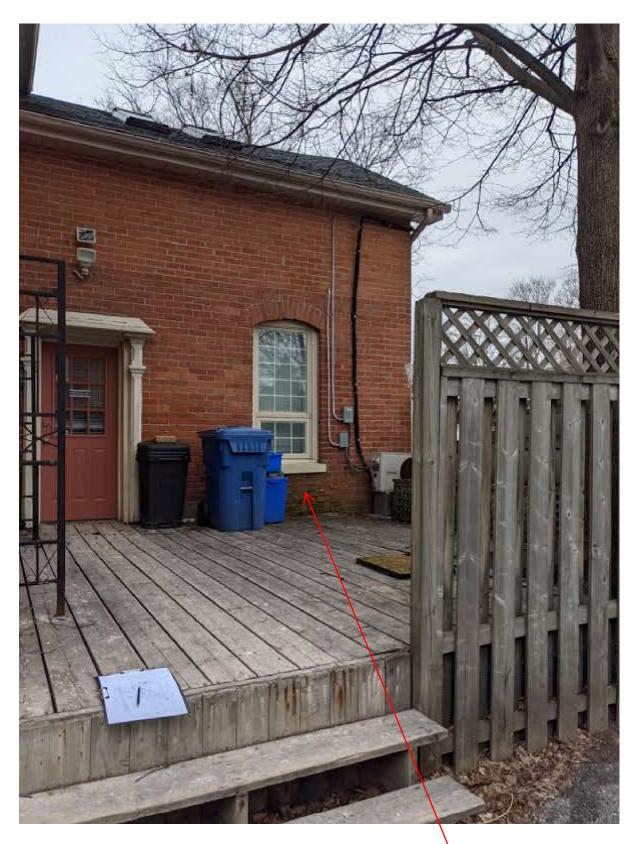












DETERIORATION OF EXISTING MASONRY





Subject: Town Hall, Chimney Repairs and New Accessibility

Ramp

**Department:** Infrastructure Services

Division: Planning

Meeting Date: 2021-10-21

#### Recommendations

That the information contained in this Report be received by Heritage Orangeville

#### **Background**

The Community Services, Parks and Facilities Division has identified repair work needing to be done to the chimneys on Town Hall. The necessary repairs involve replacing any existing brick that has deteriorated with exposure to the elements. This repair work is typical of ongoing regular maintenance requirements for this building. Bricks to be used in the repair will match existing brick types and colour and the mortar to be used will also match existing. Staff intend to have this work initiated at the earliest opportunity to prevent further deterioration.

In addition to the chimney brick repair work, staff are initiating a replacement and upgrade of the existing stair access to the main/front (Theatre Orangeville) entrance on Broadway. The existing stairs are to be removed and replaced with a new set of stairs and an accessible access ramp. The ramp is needed to comply with requirements of the Accessibility for Ontarians with Disabilities Act (AODA). Attachment No. 1 includes schematics of the existing stairs to be removed and proposed new stairs with accessibility ramp.

The entrance stairs/ramp project was to be initiated this year, however due to schedule changes to coordinate with the pending Broadway boulevard brick replacement project, the stair and access ramp upgrades will likely be initiated in the spring of 2022.

#### **Analysis**

The original Town Hall building was completed in 1876. Since then, the building has undergone numerous periods of updates, repairs and renovations, and has consistently served as a focal point for political and civic activity in the Town.

Town Hall is an individually-designated property under Part IV of the Ontario Heritage Act (the "Act"). It was designated through a By-law (No. 71-79) passed by Council in 1979, which was subsequently amended in 1991 (by By-law No. 50-91) to provide more details regarding the attributes of this heritage designation.

Section 33(1) of the Act prohibits any alteration of an individually-designated heritage property "if the alteration is likely to affect the property's heritage attributes". Where the alteration is likely to affect the heritage attributes, it may proceed only where an application for a heritage permit is approved by the municipality.

With the work proposed for Town Hall as described above, staff are of the opinion that the work does not constitute alteration that would affect the heritage attributes of Town Hall. The chimney repair work is a maintenance requirement for the existing structure and will maintain existing conditions. The proposed entrance stairs and accessibility ramp upgrade are exterior to the Town Hall building and are not directly associated with the building's heritage attributes. Therefore, the proposed work may proceed without requiring heritage permit approvals.

The purpose of this report is to advise the Committee of the pending maintenance repairs and entrance improvements for Town Hall and to answer any questions the Committee may have regarding this proposed work.

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#### Strategic Alignment

#### **Orangeville Forward – Strategic Plan**

Priority Area: Community Stewardship

Objective: Maintain and Protect our Built and Natural Heritage

#### **Sustainable Neighbourhood Action Plan**

Theme: Land Use and Planning

Strategy: Co-ordinate land use and infrastructure planning to promote healthy,

liveable and safe communities.

#### **Notice Provisions**

There are no public notification provisions applicable to this report.

#### **Financial Impact**

There are no financial impacts anticipated to the Town arising from this report.

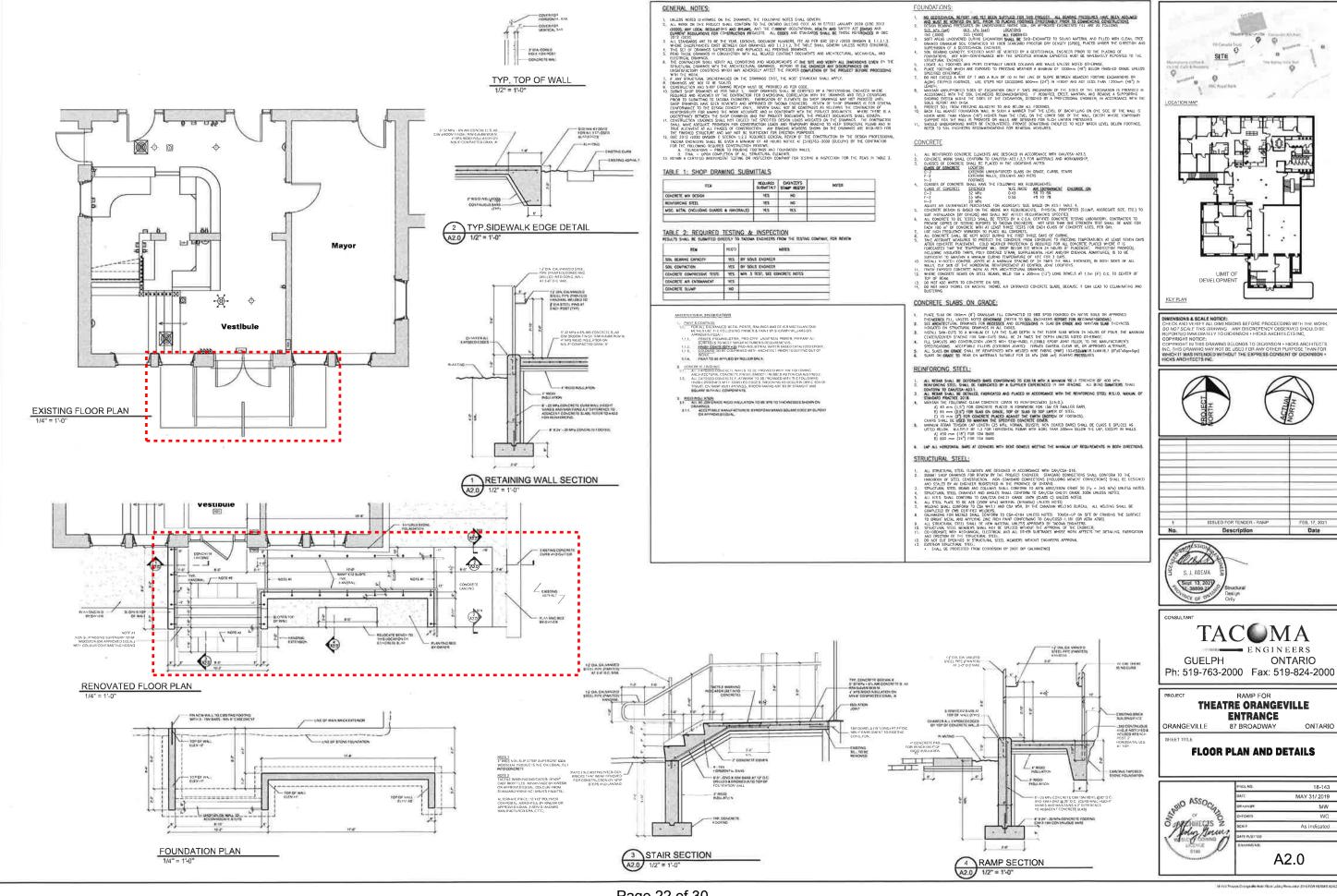
Respectfully submitted

Brandon Ward, MCIP, RPP Manager, Planning, Infrastructure Services

Attachment(s): 1. Proposed Building Entrance Improvements (Stairs and Access

Ramp)

#### Attachment No. 1



Date

ONTARIO

18-143

MAY 31/2019 MW



**Subject: Historical Photos Donation to Museum of Dufferin** 

**Department:** Corporate Services

Division: Clerks

Meeting Date: 2021-10-21

#### Recommendations

That the photographs and artefacts specified be donated to the Museum of Dufferin's Town of Orangeville Municipal Collection.

- It is further recommended that damaged images are destroyed according to Retention By-law 2012-104.
- That duplicate images of Town Council members be digitized and filed electronically for ease of reference.

#### **Background and Analysis**

According to Heritage Orangeville Terms of Reference, section 10, Heritage Orangeville will accomplish its mandate by:

liaising between Town and the Dufferin County Museum and Archives and other heritage organizations, as desirable to implement the objectives and mandate of Heritage Orangeville.

The Clerks Department is responsible for maintaining historical artefacts and material belonging to the Town. Material deemed to be for permanent retention is transferred to the Museum of Dufferin.

There are two collections that the Town donates material to, Town of Orangeville Municipal Collection and the general collection. The municipal collection is not available online, apart from a selection of tax assessments. Donations to the general museum collection transfers ownership of material to the Museum of Dufferin and would prevent the Town from reclaiming.

The Clerks Department wishes to donate photographs depicting previous Town Council members and buildings, as well as framed photography and letters, to the Museum of Dufferin. Please see attachment 1 for samples of the proposed donation material. We seek direction from the Committee as to the preferred collection.

Duplicates and moldy and musty material are not accepted, and therefore will require alternate storage or destruction.

#### **Strategic Alignment**

#### **Orangeville Forward – Strategic Plan**

Priority Area: Community Stewardship

Objective: Maintain and Protect our Built and Natural Heritage

#### **Sustainable Neighbourhood Action Plan**

Theme: N/A

Strategy: N/A

#### **Notice Provisions**

None.

#### **Financial Impact**

None.

Respectfully submitted

Alix Graham

Records Coordinator, Corporate Services

**Attachment(s):** 1. samplePhotos

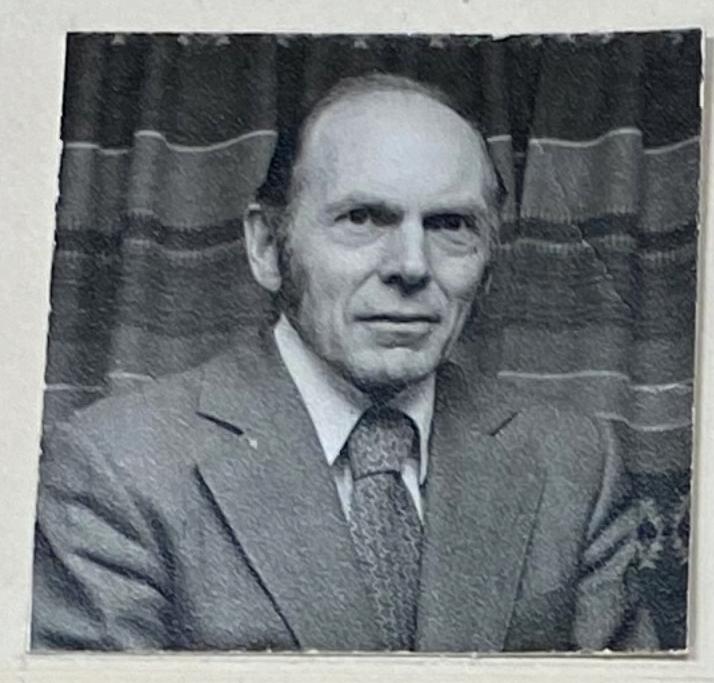




# TOWN OF ORANGEVILLE

COUNCIL AND OFFICIALS

1973-1974



A.PATTERSON REEVE



V.E.LARGE MAYOR



L.THOMSON

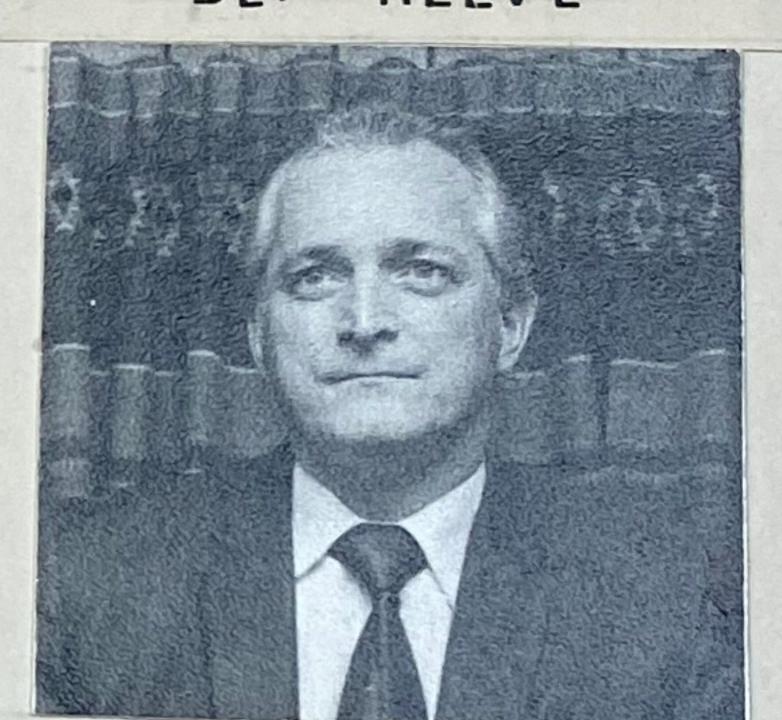
DEP-REEVE



M.FLECKER COUNCILLOR



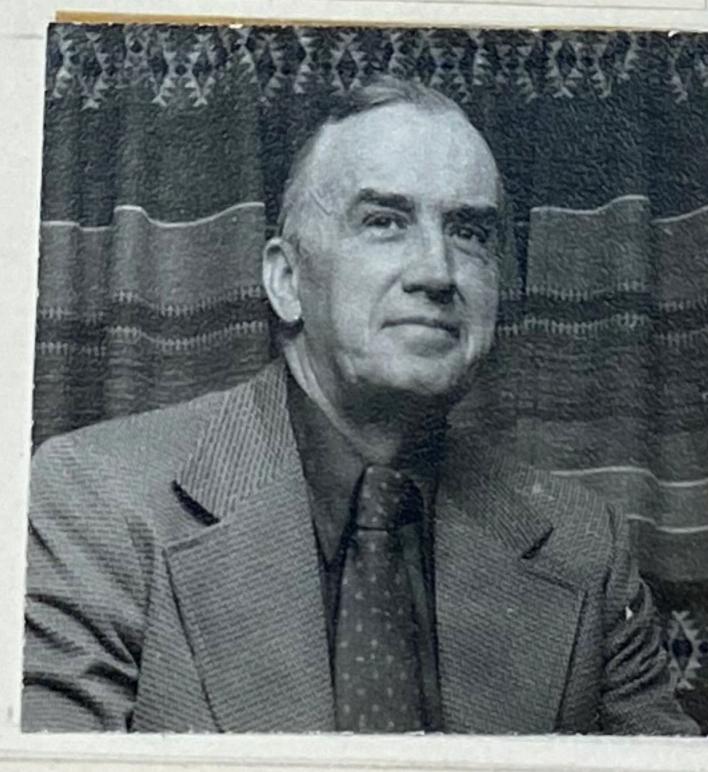
G.J.BREDIN COUNCILLOR



D.R.MORLEY
COUNCILLOR



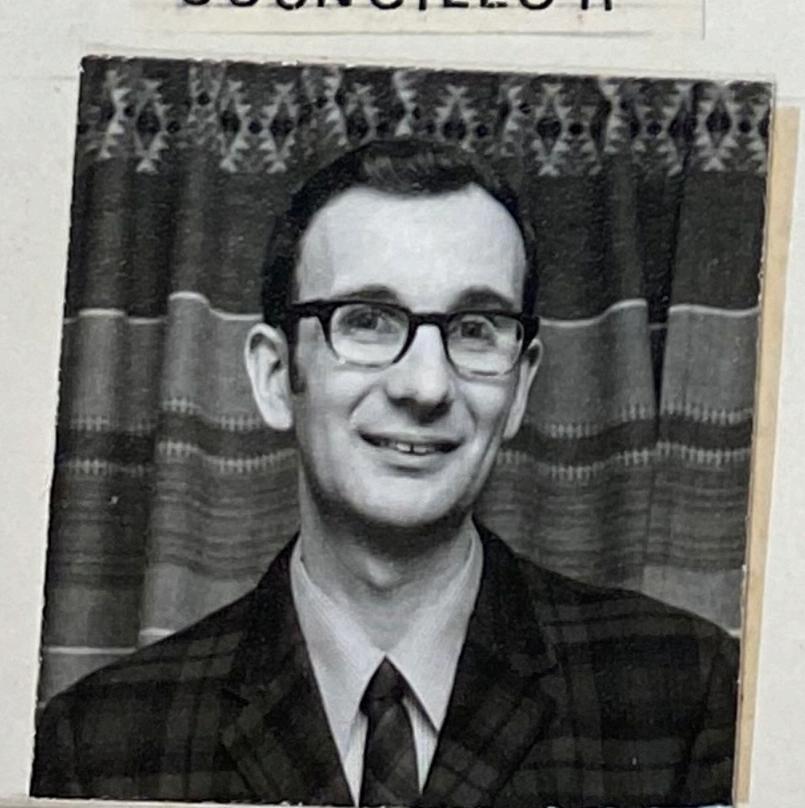
L.I.KAIN
COUNCILLOR



J.C.NOTTINGHAM
COUNCILLOR



J.G.MCCABE
COUNCILLOR



R.D.DONALDSON
ASS'T ADMINISTRATOR



R.LACKEY ADMINISTRATOR



J. VANDENDAM SUPT PUBLIC WORKS

#### **Heritage Orangeville**

#### Council Chambers – 87 Broadway Third Thursday of each month 7:00pm

#### **2022** Meeting Calendar

January 20
February 17
March 17
April 21
May 19
June 16
Suspend for Summer
Suspend for Summer
September 15
No meeting – New Council
No meeting – New Council
No meeting – New Council
January 19, 2023

	Save Cancel
Task Details	☐ Are task details incomplete?
Delegable:	☐ Is this task delegable?
Dologables	Click for help about adding basic HTML formatting.
comments.	
Comments:	Result Carried
	dwelling on the property.  Result: Carried
	And that Council not oppose the demolition of the garage attached to the main
	2021-234 That report INS-2021-041, 33 Church Street, Demolition on a Municipal Heritage Register Property, be received;
Action Required:	
	Result: Carried
	And that Council not oppose the demolition of the garage attached to the main dwelling on the property.
	That report INS-2021-041, 33 Church Street, Demolition on a Municipal Heritage Register Property, be received;
Resolution(s):	2021-234 Moved By: Todd Taylor Seconded by: Lisa Post
Category:	None
Priority:	Low
Status:	Incomplete
Due Date:	None
Assigned to:	Brandon Ward, Larysa Russell, Alexandrea Graham
Agenda Item:	33 Church Street: Demolition on a Municipal Heritage Register Property, INS-2021-041
Department:	Planning
Meeting Date:	CM_Jun14_2021
Meeting Type:	Council Meeting

# Heritage Orangeville Work Plan for 2022



Updated: September 07, 2021

	Deliverable / Project	Description	Frequency	Scheduled Date	Location	Lead	Status	Deadline	Budget/Comments
1.	Heritage Week – Banners	To select photos for the 5-6 vinyl banners for the median on Broadway and Town Hall.	Once per year	February 2022	Downtown	Councillor Sherwood, Lynda Addy, Gary Sarazin	In progress		Budget: \$1000
2.	Quarterly Newsletter	To educate homeowners	Quarterly	March, June, September, December	N/A	Lynda Addy	Will publish newsletter to heritage page and advertise on Town site	Published quarterly each year	Budget: \$2000
3.	Heritage Educations	To allow Committee members the opportunity to attend heritage related educational events Including: possible provincial education session, Ontario Heritage education opportunities	Ongoing	TBD	TBD	Committee	Members to research education opportunities	N/A	Budget: \$500
4.	Heritage Calendar	An annual heritage calendar created and distributed by the Committee for Town residents	Once per year	Fall 2022	N/A	Gary Sarazin, Lynda Addy	In progress; Content requested by November 5, 2021	TBD	Budget: \$3500
5.	Video Tour of Footsteps of our Past booklet	To complete a short video documenting select heritage structures in the Footsteps booklet. Not a guided walking tour, rather a promotional video for the booklet and homes.	Once	N/A	HCD	Councillor Sherwood, Linda Banks	Research stage	Early 2022	Budget: \$1500