



Agenda Addendum

Council Meeting

Monday, December 14, 2020, 6:15 p.m.

Electronic Meeting

**The Corporation of the Town of Orangeville
(Mayor and Clerk at Town Hall - 87 Broadway)
Orangeville, Ontario**

NOTICE

Due to efforts to contain the spread of COVID-19 and to protect all individuals, the Council Chambers at Town Hall will not be open to the public to attend Council meetings until further notice.

Members of the public who have an interest in a matter listed on the agenda may, up until 10:00 a.m. on the day of a scheduled Council meeting: Email councilagenda@orangeville.ca indicating your request to speak to a matter listed on the agenda. A phone number and conference ID code will be provided to you so that you may join the virtual meeting and provide your comments to Council.

Members of the public wishing to raise a question during the public question period of the Council meeting may beginning at 8:30 p.m. on the evening of the Council meeting, call +1 289-801-5774 and enter Conference ID: 398 695 51#

Correspondence/emails submitted will be considered as public information and entered into the public record.

Accessibility Accommodations

If you require access to information in an alternate format, please contact the Clerk's division by phone at 519-941-0440 x 2256 or via email at clerksdept@orangeville.ca

Pages

1. Call To Order

2. Approval of Agenda

Recommendations:

That the agenda and any addendum for the December 14, 2020 Council Meeting, be approved.

3. Disclosure of (Direct and Indirect) Pecuniary Interest

4. Closed Meeting

Recommendations:

That a closed meeting of Council be held pursuant to s. 239 (2) of the Municipal Act for the purposes of considering the following subject matters:

4.1. Potential Land Acquisition, 30 Centennial Road, Confidential Verbal Report Ray Osmond, General Manager, Community Services

A position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board and a proposed or pending acquisition or disposition of land by the municipality or local board

5. **Open Meeting - 7:00 p.m.**
6. **Singing of National Anthem**
7. **Land Acknowledgement**

We would like to acknowledge the traditional territory of the Anishinaabe people including the Ojibway, Potawatomi and Odawa of the Three Fires Confederacy.
8. **Announcements by Chair**

This meeting is being aired on public television and/or streamed live and may be taped for later public broadcast or webcast.
Your name is part of the public record and will be included in the minutes of this meeting.
9. **Rise and Report**

Recommendations:
That Potential Land Acquisition, 30 Centennial Road, Confidential Verbal Report Ray Osmond, General Manager, Community Services be received; and

That staff proceed as directed.
10. **Adoption of Minutes of Previous Council Meeting**
 - 10.1. **2020-11-23 Council Minutes** 7 - 21
 - 10.2. **2020-11-30 Council Minutes** 22 - 29
 - 10.3. **2020-12-07 Council Minutes** 30 - 37
11. **Presentation, Petitions and/or Delegation**
 - 11.1. **Deborah Martin-Downs, CAO Credit Valley Conservation, Budget 2021** 38 - 65
 - 11.2. **COVID-19 Community Recognition Award Recipients (CAO-2020-002)**
 - *11.3. **Brent Hollenbeck, 670-690 Broadway (INS-2020-009)**
12. **Staff Reports**
 - 12.1. **COVID-19 Community Recognition Award Recipients, CAO-2020-002** 66 - 71

Recommendations:
That report number CAO-2020-002, titled COVID-19 community recognition award recipients be received;

And that a donation in the amount of \$600 be given to the Orangeville Food Bank from the Community Grant Program on behalf of the award recipients.
 - 12.2. **Land Purchase, CMS-2020-014** 72 - 74

Recommendations:

That the report CMS-2020-014, dated December 14, 2020 regarding Land Purchase be received;

And that Council pass a by-law to authorize the entering into and execution of an Agreement of Purchase and Sale with Metrolinx to acquire lands located at 30 Centennial Road, Orangeville, legally described as Part of Lot 23, RCP 335, Pt 1, 7R5642, subject to the following terms and conditions:

- purchase price of \$2,500,000.00;
- all other terms and conditions contained within the Agreement of Purchase and Sale submitted by Metrolinx;

And that upon execution of the Agreement by the Town, staff be directed to move forward with completion of a Phase II Environmental Assessment of the property.

- | | | |
|-------|---|-----------|
| 12.3. | Small Business Covid Recovery Network Project, CMS-2020-010
Recommendations:
That report CMS-2020- be received;

And Council pass a by-law to authorize the entering into and execution of an Agreement between Her Business Advisory Centre Durham Inc. and the Corporation of the Town of Orangeville for the execution of the Conditional Flow Through Grant Agreement;

And that staff be directed to implement the Ontario Small Business COVID-19 Recovery Network Program. | 75 - 97 |
| 12.4. | 2020 Business and Economic Development Advisory Committee Annual Report, CMS-2020-011
Recommendations:
That report CMS-2020-011 regarding the 2020 Business and Economic Development Advisory Committee (BEDAC) Annual Report be received. | 98 - 100 |
| 12.5. | 2020 Cultural Plan Task Force Annual Report, CMS-2020-013
Recommendations:
That report CMS-2020-013 regarding the 2020 Cultural Plan Task Force (CPTF) Annual Report be received. | 101 - 103 |
| 12.6. | Heritage Orangeville Committee Annual Report, CPS-2020-025
Recommendations:
That the Heritage Orangeville Committee 2020 Annual Report be received. | 104 - 107 |
| 12.7. | 2021 Interim Tax Levy, CPS-2020-023
Recommendations:
That report CPS-2020-23, regarding the 2021 Interim Tax Levy, be received; and | 108 - 111 |

- That Council pass a by-law for the 2021 Interim Tax Levy.
- 12.8. 670-690 Broadway, Recommendation Report, OPZ 4/19 and CD 2/20, INS-2020-009 112 - 146
- Recommendations:
- That report INS-2020-009, 670-690 Broadway, Recommendation Report, OPZ 4/19 and CD 2/20, be received;
- And that the Official Plan Amendment and Zoning By-law Amendment Applications (OPZ 4/19) be approved;
- And that a By-law be enacted to adopt site-specific Official Plan Amendment No. 127 to re-designate the subject lands from “Open Space Conservation” and “Residential” to “Residential” on Schedule ‘A’ and to “Low Density Multiple” on Schedule ‘C’ to permit 33 condominium townhouse units on the subject lands;
- And that the amending Zoning By-law be enacted to rezone the subject lands from “Development (D) Zone” to “Multiple Residential Medium Density (RM1) Zone with Holding (H) Symbol and Special Provision (24.225)” to permit 33 condominium townhouse units;
- And that the Draft Plan of Vacant Land Condominium be approved for a period of three (3) years generally in accordance with the conditions included as Attachment No. 6 to this report.
- 12.9. Water Works Capital Projects - Update, INS-2020-011 147 - 150
- Recommendations:
- That Report INS-2020-011, Water Works Capital Projects - Update, be received.
- 12.10. Faulkner Street – Sunset Drive Sidewalk Options, INS-2020-013 151 - 162
- Recommendations:
- That Report INS-2020-013, Faulkner Street – Sunset Drive Sidewalk Options be received;
- And that Option __, from the options listed below, be included as a project in the draft 2021 Capital Budget.
- Option 1: an 80 m section of sidewalk commencing at the north driveway into ODSS and ending across from the T-intersection of Faulkner Street and Sunset Drive, ending mid-block – estimated cost \$47,000;
 - Option 2: a 290 m section of sidewalk commencing at the north driveway into ODSS and ending at the T-intersection of Sunset Drive and Northgate Drive – estimated cost \$123,000; and
 - Option 3: a 390 m section of sidewalk commencing at the north

driveway into ODSS and ending at the intersection of Northgate Drive and Forest Park Road immediately across from the walkway connecting this intersection to Goldgate Crescent.

13. Correspondence

Recommendations:

That the correspondence listed below be received.

13.1.	Township of Amaranth, Aggregate Resource Property Valuation	163 - 169
13.2.	Township of Amaranth, Governing Body for Cannabis	170 - 175
13.3.	Town of Mono, Bill 229	176 - 179
13.4.	Town of Shelburne, Bill 229	180 - 182

14. Committee/Board Minutes

Recommendations:

That the minutes listed below be received.

14.1.	2020-10-07 Committee of Adjustment Minutes	183 - 186
14.2.	2020-09-16 Heritage Orangeville Minutes	187 - 191
14.3.	2020-10-21 Heritage Orangeville Minutes	192 - 196
14.4.	2020-11-05 Heritage Orangeville Minutes	197 - 198
14.5.	2020-05-19 Orangeville Police Services Board Minutes	199 - 207
14.6.	2020-06-16 Orangeville Police Services Board Minutes	208 - 220
14.7.	2020-07-21 Orangeville Police Services Board Minutes	221 - 229
14.8.	2020-08-18 Orangeville Police Services Board Minutes	230 - 240
14.9.	2020-09-14 Orangeville Police Services Board Minutes	241 - 249
14.10.	2020-11-03 Sustainable Orangeville Minutes	250 - 253

15. Notice of Motion Prior to Meeting

***15.1. Deputy Mayor Macintosh, Transit Transfer Station**

Whereas Council at its meeting held on November 23, 2020 defeated a motion to locate the transit transfer station on Broadway between First Street and John Street; and

Whereas County Council at its meeting held on December 10, 2020 passed a motion to work with the Town to investigate potential options to locate a transit transfer station at the Edelbrock Centre; and

Whereas Town Council is supportive of working with the County to determine the feasibility and costs associated with locating the transit transfer station at the Edelbrock Centre;

Now therefore be it resolved that staff work with the County of Dufferin to assess the feasibility and costs for locating the transit transfer station

at the Edelbrock Centre (Centre Street and connecting with Dawson Road) which includes the detailed design options prepared by Triton Engineering; and

That staff report back to Council on this matter and on the matter of adding a second community garden in the Town in January 2021.

16. Notice of Motion at Meeting

17. New Business

18. Question Period

19. By-Laws

Recommendations:

That the by-laws listed below be read three times and finally passed.

- | | | |
|--------------|--|------------------|
| 19.1. | A By-law to adopt amendment No. 127 to the Official Plan (2040771 Ontario Inc., OPZ 4 19) | 254 - 260 |
| 19.2. | A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway 2040771 Ontario Inc., OPZ 4 19 | 261 - 264 |
| 19.3. | A by-law to authorize the entering into and execution of an Agreement of Purchase and Sale with Metrolinx | 265 - 265 |
| 19.4. | A By-Law to provide for the levy and collection of rates or levies for the Town of Orangeville for the interim levy for the year 2021. | 266 - 267 |
| 19.5. | A by-law to authorize the entering into and execution of a Conditional Flow Through Grant Agreement - SBEC with the Business Advisory Centre Durham Inc. | 268 - 268 |
| 19.6. | A by-law to confirm the proceedings of the Council of The Corporation of the Town of Orangeville at its regular and closed Council Meeting held on December 14, 2020 | 269 - 269 |

20. Adjournment

Recommendations:

That the meeting be adjourned.



Council Meeting Minutes

November 23, 2020, 5:45 p.m.

Electronic Meeting

**The Corporation of the Town of Orangeville
(Mayor and Clerk at Town Hall - 87 Broadway)
Orangeville, Ontario**

Members Present: Mayor S. Brown, was present in the Mayor's Office
Deputy Mayor A. Macintosh
Councillor J. Andrews
Councillor G. Peters
Councillor L. Post
Councillor D. Sherwood
Councillor T. Taylor

Staff Present: E. Brennan, CAO
D. Benotto, Software Operations Supervisor, was present in Council Chambers
D. Jones, General Manager, Infrastructure Services
C. Khan, Deputy Clerk, was present in Council Chambers
J. Lackey, Manager, Transportation and Development
K. Landry, Town Clerk, was present in Council Chambers
A. McKinney, General Manager, Corporate Services
R. Osmond, General Manager, Community Services
M. Pourmanouchehri, IT Technician, was present in Council Chambers
L. Russell, Senior Planner
N. Syed, Treasurer
B. Ward, Manager, Planning
T. Macdonald, Assistant Clerk

1. Call To Order

The meeting was called to order at 5:45 p.m.

2. Approval of Agenda

Resolution 2020-386

Moved by Councillor Andrews

Seconded by Deputy Mayor Macintosh

That the agenda and any addendum for the November 23, 2020 Council Meeting, be approved.

Carried

3. Disclosure of (Direct and Indirect) Pecuniary Interest

None.

4. Closed Meeting

Resolution 2020-387

Moved by Councillor Sherwood

Seconded by Councillor Peters

That a closed meeting of Council be held pursuant to s. 239 (2) of the Municipal Act for the purposes of considering the following subject matters:

Carried

Resolution 2020-388

That Council convened back into open session.

Council recessed from 6:32 p.m. to 7:00 p.m.

4.1 Closed Council Minutes

4.1.1 2020 10 26 Closed Council

4.1.2 2020-11-09 Closed Council

4.2 Committee Appointment – Committee of Adjustment and Property Standards Appeal/Dog Designation Committee, CPS-2020-022

4.3 Potential Land Acquisition, Confidential Verbal Report Ray Osmond, General Manager, Community Services

5. Open Meeting - 7:00 p.m.

6. Singing of National Anthem

David Nairn, Theatre Orangeville provided a pre-recorded National Anthem that was played.

7. Land Acknowledgement

Mayor Brown acknowledged the traditional territory of the Anishinaabe people including the Ojibway, Potawatomi and Odawa of the Three Fires Confederacy.

8. Announcements by Chair

Mayor Brown advised the gallery and viewing audience with respect to the public nature of Council Meetings and that it is webcast.

9. Rise and Report

Resolution 2020-389

Moved by Councillor Post

Seconded by Councillor Andrews

That 2020-10-26, 2020-11-09 Closed Council minutes be received; and

That Confidential Report CPS-CL-2020-022 regarding Committee Appointment – Committee of Adjustment and Property Standards Appeal/Dog Designation Committee be received; and

That Confidential Verbal Report of Ray Osmond, General Manager, Community Services be received; and

That staff proceed as directed.

Carried

10. Adoption of Minutes of Previous Council Meeting

Resolution 2020-390

Moved by Councillor Taylor

Seconded by Deputy Mayor Macintosh

That the minutes of the following meetings be approved:

2020-10-26 Council

Carried

11. Presentation, Petitions and/or Delegation

11.1 Anna McGregor, Director of Community Services, Housing Presentation

Anna McGregor, Director of Community Services provided an overview of the current housing situation within Dufferin County and the need for increased affordable housing. Ms. McGregor answered questions from Council.

11.2 Stephanie Stewart, Manager of Community Transportation, Grey County, Transit

Stephanie Stewart, Manager of Community Transportation, Grey County spoke about the new Grey Transit Route system and answered questions from Council.

11.3 Terrance Carter, Transit Transfer Station

Terrance Carter provided an historical review of the discussion surrounding the transit transfer terminal in Orangeville and outlined the reasons that he would like locations other than downtown considered.

11.4 Alison Scheel, Orangeville BIA, Transit Transfer Station

Alison Scheel, Orangeville BIA was unable to delegate at the meeting.

11.5 Troy Brett, Orangeville BIA, Transit Transfer Terminal

Troy Brett, Orangeville BIA promoted the Centre Street location for the Transit Transfer Terminal over the downtown location and urged Council to reconsider the location of the transfer terminal.

11.6 Frank Gray, Transit Transfer Station

Frank Gray spoke about his preference to have the Transit Transfer Terminal located at the Edelbrock location.

11.7 David McKay, 515 Broadway (INS-2020-003)

David McKay spoke in support of the staff recommendation outlined in report INS-2020-003 relating to 515 Broadway and answered questions from Council.

11.8 Ashalyn Wilson and Michelle Thompson, Transit Transfer Terminal

Ashalyn Wilson and Michelle Thompson, Orangeville Memorials requested that the Transit Transfer Station not be located in the Downtown core.

11.9 Pedro Pimentel, Architect and Filomena Nunes, Planner, 99 Mill Street (INS-2020-002)

Pedro Pimental, architect and Filomena Nunes, planner spoke in support of the development at 99 Mill Street.

12. Staff Reports

12.1 INS-2020-004, Orangeville Transit Point Update and Safety Study

Resolution 2020-391

Moved by Councillor Post

Seconded by Councillor Peters

That Report INS-2020-004, Orangeville Transit Point Update and Safety Study, be received.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

Resolution 2020-392

Moved by Deputy Mayor Macintosh

Seconded by Mayor Brown

That Resolution 2020-141 regarding the transfer station be located on Broadway between First Street and John Street be reconsidered.

Yes (4): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, and Councillor Sherwood

No (3): Councillor Peters, Councillor Post, Councillor Taylor

Carried (4 to 3)

Resolution 2020-393

Moved by Deputy Mayor Macintosh

Seconded by Mayor Brown

That the transfer station be located on Broadway between First Street and John Street.

Yes (3): Councillor Peters, Councillor Post, and Councillor Taylor

No (4): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, and Councillor Sherwood

Defeated (3 to 4)

12.2 INS-2020-005, Electric Vehicle Fleet Transition

Resolution 2020-394

Moved by Councillor Andrews

Seconded by Councillor Post

That report INS-2020-005, Electric Vehicle Fleet Transition be received.

Carried

12.3 INS-2020-002, 99 Mill Street, Recommendation Report, OPZ 2/20

Resolution 2020-395

Moved by Councillor Taylor

Seconded by Councillor Andrews

That report INS-2020-002, 99 Mill Street, Recommendation Report, OPZ 2/20, be received;

And that the Official Plan Amendment and Zoning By-law Amendment Applications (OPZ 2/20) be approved;

And that a By-law be enacted to adopt site-specific Official Plan Amendment No. 125 to re-designate the subject lands from "Neighbourhood Commercial" to "Residential" on Schedule "A" and "Low Density Multiple" on Schedule "C" to permit a fourplex;

And that a By-law be enacted to rezone the subject lands from "Neighbourhood Commercial (C2) Zone" to "Multiple Residential Medium Density (RM1) Zone with Special Provision (24.219)" to permit a fourplex.

Carried Unanimously

12.4 INS-2020-003, 515 Broadway, Recommendation Report, OPZ 3/18

Resolution 2020-396

Moved by Councillor Peters

Seconded by Councillor Taylor

That the following additional requirements be added to the conditions for the removal of the Holding (H) Symbol stipulated in the amending Zoning By-law:

- a satisfactory Water Conservation Plan has been submitted, which demonstrates that the development will achieve a minimum twenty (20%) reduction in potable water use: and
- a satisfactory Energy Efficiency Assessment has been submitted, which demonstrates that the development will achieve a minimum ten percent (10%) energy savings in exceedance of applicable building code requirements for new dwelling construction.

Yes (3): Councillor Peters, Councillor Post, and Councillor Taylor

No (4): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, and Councillor Sherwood

Defeated (3 to 4)

Resolution 2020-397

Moved by Deputy Mayor Macintosh

Seconded by Councillor Sherwood

That report INS-2020-003, 515 Broadway, Recommendation Report, OPZ 3/18, be received;

And that the Official Plan Amendment and Zoning By-law Amendment Applications (OPZ 3/18) be approved;

And that a By-law be enacted to adopt site-specific Official Plan Amendment No. 126 to re-designate the subject lands from “Residential” and “Open Space Conservation” to “Residential” and “Open Space Conservation” on Schedule ‘A’ and a portion of the lands from “Low Density Residential” to “High Density Residential” on Schedule ‘C’ to permit a retirement home and residential uses.

And that a By-law be enacted to rezone the subject lands from “Development (D) Zone” to “Multiple Residential High Density (RM2) with Holding (H) Symbol and Special Provision (24.224)” and “Open Space Conservation (OS2) Zone” to permit a retirement home and residential uses.

Yes (6): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Post, Councillor Sherwood, and Councillor Taylor

No (1): Councillor Peters

Carried (6 to 1)

12.5 CPS-2020-018, 2020 Third Quarter Operating Fund Variance

Resolution 2020-398

Moved by Councillor Peters

Seconded by Councillor Andrews

That report CPS-2020-018 regarding the 2020 Third Quarter Operating Fund Variance be received.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.6 CPS-2020-020, 2020 Third Quarter Capital Progress

Resolution 2020-399

Moved by Councillor Post

Seconded by Councillor Sherwood

That report CPS-2020-020 regarding the 2020 Third Quarter Capital Progress be received.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.7 CPS-2020-019, Public Engagement Charter

Resolution 2020-400

Moved by Deputy Mayor Macintosh

Seconded by Councillor Sherwood

That report CPS-2020-019 be Public Engagement Charter be received;

And that Council approve the International Association of Public Participation's materials as a tool to enhance community consultation and serve as a guide to direct municipal communications on matters relevant to the public/public interest.

And that should Council approve the materials that the Notice Policy be updated as required.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.8 CMS-2020-002, Agreement with Artel Inc. for 112 Broadway Parking

Resolution 2020-401

Moved by Councillor Taylor

Seconded by Councillor Andrews

That report CMS-2020-002, Agreement with Artel Inc. for 112 Broadway Parking be received;

And that council approve the four-year lease agreement between Artel Inc. and the Town of Orangeville for the period of January 1, 2021 to December 31, 2024;

And that Council pass a by-law to enter into an agreement and to authorize the Mayor and Clerk to execute the agreement and any other documents required to complete the transaction.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.9 CPS-2020-021, Agreement with Orangeville Police Services Board (OPSB) for Archival Services

Resolution 2020-402

Moved by Councillor Post

Seconded by Councillor Andrews

The report CPS-2020-021 regarding the Orangeville Police Services Board (OPSB) Archival Services Agreement, be received;

And that Council approve an agreement with the OPSB for the secure and accessible archival service of its records;

And that Council pass a by-law to authorize the entering into and execution of an agreement with the Orangeville Police Services Board.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.10 CPS-2020-013, Sustainable Orangeville Committee Appointment

Resolution 2020-403

Moved by Councillor Peters

Seconded by Deputy Mayor Macintosh

That report CPS-2020-013 Sustainable Orangeville Committee Appointment be received;

And that Valerie Nilsson be appointed to Sustainable Orangeville;

And that staff bring forward a By-law to amend the Appointment to Various Boards and Committees By-law 021-2019.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

12.11 CPS-2020-017, Joint Accessibility Advisory Committee 2020 Annual Report

Resolution 2020-404

Moved by Councillor Post

Seconded by Councillor Andrews

That Report CPS-2020-017 Joint Accessibility Advisory Committee 2020 Annual Report be received;

And that Council approves a \$10,000 budget carry over from the 2020 to 2021 Accessibility Committee operating budget for the purpose of a portable accessibility ramp program for Orangeville businesses.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

13. Correspondence

13.1 Township of Amaranth, CP Rail Trail

Resolution 2020-405

Moved by Councillor Andrews

Seconded by Deputy Mayor Macintosh

That correspondence from the Township of Amaranth, CP Rail Trail be received.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

Resolution 2020-406

Moved by Councillor Peters

Seconded by Mayor Brown

That Council endorse the motion by the Township of Amaranth, CP Rail Trail.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

14. Committee/Board Minutes

Resolution 2020-407

Moved by Councillor Andrews

Seconded by Councillor Peters

That the following minutes be received:

2020-09-01 Joint Accessibility Advisory Committee

2020-10-06 Joint Accessibility Advisory Committee

2020-09-23 Library Board

2020-10-06 Sustainable Orangeville

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

Council recessed from 9:04 to 9:09 p.m.

15. Notice of Motion Prior to Meeting

None.

16. Notice of Motion at Meeting

Note: By show of hands Council waived the notice requirement.

Resolution 2020-408

Moved by Councillor Post

Seconded by Councillor Sherwood

Whereas the Province of Ontario has placed Wellington-Dufferin-Guelph Public Health area in the “Orange Zone” of COVID-19 response framework,

And whereas all of our neighbouring communities are in the “Red Zone” or the “Grey/Lockdown Zone”,

And whereas the Province of Ontario has stated that Drive Test Centres in lockdown areas are not permitted to conduct road tests,

And whereas a significant percentage of the patrons to our local Drive Test Centre are from Lockdown areas,

Therefore be it resolved that Orangeville Town Council direct staff to write a letter addressed to Premier Doug Ford with copies to be sent to Solicitor General Sylvia Jones, Dufferin-Caledon MP Kyle Seebach and Dr. Nicola Mercer, Medical Officer of Health for Wellington-Dufferin-Guelph Public Health requesting that during these unprecedented times, while it is not safe to conduct drive tests in lockdown areas, it is therefore not safe to conduct road tests at any drive test facility for any patrons residing in lockdown zones and that at this time, we request that cross region access to these amenities be restricted until it is deemed safe for them to resume.

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

Note: By show of hands Council waived the notice requirement.

Resolution 2020-409

Moved by Councillor Taylor

Seconded by Mayor Brown

That the boulevard café permits be extended to December 31, 2020; and

That business owners with boulevard café permits will be required to remove their patios prior to December 31, 2020 upon the direction of Town staff in the event that winter maintenance be required; and

That patios be restricted to the sidewalk area only; and

That business owners with boulevard cafe permits operating a patio provide snow removal assistance and necessary documentation to the satisfaction of the General Manager, Infrastructure Services regarding removal of snow on the sidewalk;

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

Deputy Mayor Macintosh advised that he will be bringing forward a motion requesting staff to report back to Council in January 2021 with updated costs to locate the transfer transit point at Edelbrock Centre (Centre Street and

connecting with Dawson Road) and to include information on adding a second community garden in the Town.

Councillor Peters advised that he will be bringing forward a motion regarding concerns with the recent changes made to the Conservation Authorities Act.

17. New Business

Councillor Andrews indicated that there will be a Business and Economic Development meeting on December 1, 2020.

Councillor Sherwood extended thanks to parks and recreation staff for the holiday light extravaganza and provided a reminder that there will not be a traditional Santa Claus parade this year.

Councillor Sherwood advised that December 5, 2020 is the next date for the farmers market at Tony Rose Recreation Centre.

Deputy Mayor Macintosh advised that the tree lightning video is on the Town's website and the BIA website.

Councillor Peters advised that November is Lung Cancer and Radon Awareness month and that there are Radon detectors available at the library.

Mayor Brown advised that the Upper Grand District School Board is doing a review of having police officers in schools.

18. Question Period

None.

19. By-Laws

Resolution 2020-410

Moved by Councillor Andrews

Seconded by Councillor Sherwood

That the by-laws listed below be read three times and finally passed:

A By-law to adopt Amendment No. 125 to the Official Plan for the Town of Orangeville.

A By-law to amend Zoning By-law No. 22-90, as amended, be enacted to permit the use of Lot 23, Block 7, Plan 138, Town of Orangeville, County of Dufferin, municipally known as 99 Mill Street, as a fourplex.

A By-law to adopt Amendment No. 126 to the Official Plan for the Town of Orangeville.

A By-law to amend Zoning By-law No. 22-90, as amended, be enacted to permit the use of Part of Lot 1, Concession C, Town of Orangeville, County of Dufferin, municipally known as 515 Broadway, as a retirement home and residential uses.

A By-law to authorize the entering into and execution of a Lease Agreement with Artel Inc. for 112 Broadway

A By-law to authorize the entering into and execution of an Archival Agreement with Orangeville Police Services Board

A By-law to confirm the proceedings of the Council of the Corporation of the Town of Orangeville at its regular and closed Council Meeting held on November 23, 2020

Yes (7): Mayor Brown, Deputy Mayor Macintosh, Councillor Andrews, Councillor Peters, Councillor Post, Councillor Sherwood, and Councillor Taylor

Carried (7 to 0)

20. Adjournment

Resolution 2020-411

Moved by Councillor Taylor

Seconded by Deputy Mayor Macintosh

That the meeting be adjourned at 9:34 p.m.

Carried

Sandy Brown, Mayor

Karen Landry, Clerk



Minutes of Council - Public Meeting

November 30, 2020, 5:15 p.m.

Electronic Meeting

**The Corporation of the Town of Orangeville
(Mayor and Clerk at Town Hall - 87 Broadway)
Orangeville, Ontario**

Members Present: Mayor S. Brown, was present in Council Chambers
Deputy Mayor A. Macintosh
Councillor J. Andrews
Councillor G. Peters
Councillor L. Post
Councillor D. Sherwood
Councillor T. Taylor

Staff Present: E. Brennan, CAO
D. Benotto, Software Operations Supervisor
D. Jones, General Manager, Infrastructure Services
K. Landry, Town Clerk, was present in Council Chambers
A. McKinney, General Manager, Corporate Services
R. Osmond, General Manager, Community Services
N. Syed, Treasurer
B. Ward, Manager, Planning
T. Macdonald, Assistant Clerk

1. Call To Order

The meeting was called to order at 5:15 p.m.

2. Approval of Agenda

Resolution 2020-412

Moved by Councillor Taylor

Seconded by Councillor Andrews

That the agenda and any addendum for the November 30, 2020 Council Meeting, be approved.

Carried

3. Disclosure of (Direct and Indirect) Pecuniary Interest

None.

4. Closed

Resolution

That a closed meeting of Council be held pursuant to s. 239 (2) of the Municipal Act for the purposes of considering the following subject matters:

4.1. Diversity and Inclusion Training

The meeting is held for the purpose of educating or training the members.

4.2. Transit - Confidential Verbal Report, Ed Brennan, CAO

A position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board.

Advice that is subject to solicitor-client privilege, including communications necessary for that purpose.

Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board.

Resolution 2020-413

Moved by Councillor Andrews

Seconded by Councillor Post

That Council convene into open session at 6:47 p.m.

Carried

Council recessed from 6:47 p.m. to 7:00 p.m.

5. Singing of National Anthem

David Nairn, Theatre Orangeville provided a pre-recorded National Anthem that was played.

6. Land Acknowledgement

The Mayor acknowledged the traditional territory of the Anishinaabe people including the Ojibway, Potawatomi and Odawa of the Three Fires Confederacy.

7. Announcements by Chair

Mayor Brown provided information regarding how the public is able to participate in the Council meeting, advised the gallery and viewing audience with respect to the public nature of Council Meetings and that it is webcast.

8. Statutory Public Meetings

Deputy Mayor Macintosh assumed the Chair and outlined the procedure to be followed for the public meeting.

8.1 INS 2020-007, Transmetro and Aldenhill Subdivision Applications, Public Meeting Information Report, OPZ 1-18 & S 1-18 and OPZ 2-18 & S 2-18, INS-2020-007

Brandon Ward, Manager, Planning outlined the applications submitted by Transmetro Properties Limited, Aldenhill Developments Limited and Edgewood Valley Developments Limited c/o Hughes Management which are applications for two plans of subdivision with related Official Plan and Zoning By-law amendments to create a total of:

152 detached dwelling lots

Blocks for condominium townhomes (approximately 70 units) and multiple dwellings (183 units maximum)

Neighbourhood Commercial Block

Future Public School

Open Space Conservation Areas

Mr. Ward also outlined the proposed Official Plan Amendments which propose to refine the open space conservation boundary, re-designate the lands for the proposed future school block as institution, relocate the neighbourhood commercial designation and re-designate portions to Low-Density Multiple and Medium Density Residential. The proposed Zoning By-law amendments are Residential Fourth Density with Special Provisions, Residential Fifth Density, Residential Medium Density, Neighbourhood Commercial, Institutional, Open Space Conservation and Holding Symbol. Mr. Ward outlined the different public comments that were received relating to these applications and outlined next steps which

include planning staff review of comments received through public meeting, preparation of a recommendation report for Council and the applicants pursuit of further planning approvals.

Mr. Jim Hughes spoke on behalf of the applicants and outlined samples of typical housing styles. Mr. Hughes also reviewed the natural heritage system, school site and woodlot and Hansen bridge.

Deputy Mayor Macintosh questioned the connection of Hansen Boulevard.

Mr. Ward outlined that the proposed development and the Hansen Boulevard connection are completed at a similar time.

Mayor Brown commented on the importance of the Hansen Boulevard connection being completed.

Councillor Taylor questioned the Hansen Street bridge and new home construction occurring prior to the bridge opening and questioned the timing of the new bridge opening.

Mr. Ward indicated that the intent is that the Hansen Street bridge is completed prior to new home construction in the area.

Mr. Jones, General Manager, Infrastructure Services indicated that the Edgewood Valley 2B project is moving forward and if all goes well the plan is to construct the bridge in the coming summer.

Councillor Taylor questioned how long the process of bridge building would be.

Mr. Jones advised that bridge would most likely be complete before the road is built and it is likely to be 2022 before the road and bridge are complete.

Councillor Taylor asked for a more definitive date for completion.

Mr. Jones advised that a more concrete date for completion will largely be determined by the developer.

Mr. Hughes indicated that they would be trying to construct the roadway in tandem with the bridge construction if possible.

Councillor Sherwood questioned the make up of the park space.

Mr. Hughes indicated that the park is identified in the woodlot area and it has not yet been determined how much would be active park and how much would be inactive park.

Councillor Sherwood asked where the closest existing park to this development is located.

Mr. Ward advised that he would need to review further to determine the location of the closest park.

Councillor Peters questioned the open space conservation boundaries as well as speed limits on the roadways within the development.

Mr. Ward advised that the open space conservation boundaries have been refined as opposed to shrunk or expanded and it is expected as the development proceeds that a study is completed that recommends any impacts or separation that may be appropriate to protect the area.

Mr. Jones indicated that the 40 km/h speed limit will be implemented in the area.

Councillor Andrews asked about the Storm Water Management Pond and if it is anticipated that the pond would grow.

Mr. Ward indicated that staff evaluated the storm water management analysis to ensure that correct servicing can be maintained.

Mr. Hughes outlined the process that was undergone to determine appropriate storm water management for the proposed development.

Councillor Taylor questioned parking, specifically winter parking.

Mr. Ward indicated that a dedicated parking lot for this development has not been contemplated but the units themselves will need to comply with parking requirements.

Councillor Taylor expressed concern about the bridge being ready for opening prior to construction of homes.

Mr. Hughes indicated that is their intention to move forward with the development at the same time the bridge is being built and indicated he believes the roads and bridge will be in place before the construction of homes.

8.2 Connie Thompson, Zoning By-law amendment

Ms. Thompson outlined her concerns specifically related to wildlife, water quality and population density concerns.

Mr. Jones outlined the water and sewer capacity concerns that are addressed during the review of the application.

Mr. Hughes referenced the woodlot portion of the proposed development and the wildlife corridor contained within it.

Mayor Brown responded to the concerns relating to population density advising that Town Staff is working within the Official Plan, Zoning and Provincial guidelines.

8.3 Karey Shinn, Transmetro and Aldenhill Subdivision Applications

Karey Shinn outlined concerns related to the water quality and supply.

Mr. Jones addressed the concerns relating to water quality at Well 12 and provided an overview of the approval process as it relates to water conservation and quality.

The Chair asked if there were any additional questions from the public and there were none.

The Mayor resumed the Chair.

Resolution 2020-414

Moved by Councillor Taylor

Seconded by Councillor Sherwood

That report INS-2020-007, Transmetro and Aldenhill Subdivision Applications, Public Meeting Information Report, OPZ 1-18 & S 1-18 and OPZ 2-18 & S 2-18 be received as information at the Public Meeting on November 30, 2020.

Carried

Resolution 2020-415

Moved by Councillor Taylor

Seconded by Councillor Andrews

That a closed meeting of Council be held pursuant to s. 239 (2) of the Municipal Act for the purposes of considering the following subject matters:

Transit - Confidential Verbal Report, Ed Brennan, CAO

A position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board.

Advice that is subject to solicitor-client privilege, including communications necessary for that purpose.

Litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board.

Carried

Note: Council convened back into closed session at 8:21 p.m.

Resolution 2020-416

Moved by Councillor Andrews

Seconded by Councillor Sherwood

That Council convene back into open session at 9:03 p.m.

Carried

9. Rise and Report

Resolution 2020-417

Moved by Councillor Andrews

Seconded by Councillor Sherwood

That Transit - Confidential Verbal Report, Ed Brennan, CAO be received.

Carried

10. Adjournment

Resolution 2020-418

Moved by Councillor Post

Seconded by Councillor Taylor

That the meeting be adjourned at 9:06 p.m.

Carried

Sandy Brown, Mayor

Karen Landry, Clerk



Council Meeting Minutes

December 7, 2020, 5:30 p.m.

Electronic Meeting

**The Corporation of the Town of Orangeville
(Mayor and Clerk at Town Hall - 87 Broadway)
Orangeville, Ontario**

Members Present: Mayor S. Brown, was present in Council Chambers
Deputy Mayor A. Macintosh
Councillor J. Andrews
Councillor G. Peters
Councillor L. Post
Councillor D. Sherwood
Councillor T. Taylor

Staff Present: E. Brennan, CAO
D. Benotto, Software Operations Supervisor, was present in Council Chambers
D. Jones, General Manager, Infrastructure Services
C. Khan, Deputy Clerk
K. Landry, Town Clerk, was present in Council Chambers
A. McKinney, General Manager, Corporate Services
R. Osmond, General Manager, Community Services
M. Pourmanouchehri, IT Technician, was present in Council Chambers
N. Syed, Treasurer
T. Macdonald, Assistant Clerk

1. Call To Order

The meeting was called to order at 5:30 p.m.

2. Approval of Agenda

Resolution 2020-419

Moved by Councillor Andrews

Seconded by Councillor Post

That the agenda and any addendum for the December 7, 2020 Council Meeting, be approved.

Carried

3. Disclosure of (Direct and Indirect) Pecuniary Interest

None.

4. Closed Meeting

Resolution 2020-420

Moved by Councillor Taylor

Seconded by Councillor Peters

That a closed meeting of Council be held pursuant to s. 239 (2) of the Municipal Act for the purposes of considering the following subject matters:

4.1 Public Office Holders, Confidential Verbal Report, Ed Brennan, CAO

Carried

Resolution 2020-421

Moved by Councillor Sherwood

Seconded by Councillor Andrews

That Council convene back into open session at 6:40 p.m.

Carried

Council recessed from 6:40 p.m. to 7:00 p.m.

5. Open Meeting - 7:00 p.m.

6. Singing of National Anthem

David Nairn, Theatre Orangeville provided a pre-recorded National Anthem that was played.

7. Land Acknowledgement

The Mayor acknowledged the traditional territory of the Anishinaabe people including the Ojibway, Potawatomi and Odawa of the Three Fires Confederacy.

8. Announcements by Chair

9. Rise and Report

Resolution 2020-422

Moved by Councillor Sherwood

Seconded by Councillor Andrews

That Public Office Holders, Confidential Verbal Report of Ed Brennan, CAO be received.

Carried

10. Adoption of Minutes of Previous Council Meeting

None.

11. Presentation, Petitions and/or Delegation

None.

12. Staff Reports

Resolution 2020-423

Moved by Councillor Post

Seconded by Deputy Mayor Macintosh

Whereas the Town's procedural by-law provides for less formal procedures for special and standing committees of Council;

And Whereas Town Council wishes to conduct a Council workshop utilizing less formal procedures to facilitate discussion regarding its Strategic Priorities;

Now therefore be it resolved that Council convene into a Council workshop to discuss its Strategic Priorities.

Carried

12.1 Presentation by Ed Brennan, CAO regarding Council Strategic Priorities 2021-2022

Ed Brennan, CAO provided an overview of the September 2019 Council Strategic Planning Session and provided an overview of identified priorities:

- Enhance communications, engagement, customer service and on-line/digital services (i.e report a problem)
- Focus on efficiencies
- Financial/Asset management and sustainability, budget planning and taxation
- Delivery model evaluation (policing, railway)
- Attract and retain businesses and investment
- Increase Tourism/continue implement Cultural Plan
- Safe and healthy community and neighbourhoods
- Welcoming, inclusive and accessible community
- Sustainability initiatives
- Downtown Revitalization/Broadway
- Recreation Program Review

Andrea McKinney, General Manager Corporate Services announced the award received by communications - the

Doug Jones, General Manager Infrastructure Services provided an overview of accomplishments of Infrastructure Services in 2019 including Transit Task Force recommendations, roads and related infrastructure, Water and Waste Water Rates Study, Water Supply Class Environmental Assessment, Climate Adaptation Plan (in progress), Zoning By-law Housekeeping Amendment, Official Plan Review.

Ray Osmond, General Manager Community Services outlined various projects completed in 2020 including 35 facilities and parks projects completed as well as Economic Development and Culture initiatives including 2020 Tourism Strategy and Action Plan and Digital Main Street Program. Mr. Osmond also outlined accomplishments of fire services, library and recreation and events.

Andrea McKinney, General Manager, Corporate Services outlined various corporate services initiatives that were completed in 2020 including Smart City and Digital First Programs, OPS/OPP transition support and outlined initiatives of Clerks, Information Technology, Human Resources and Communications.

Mr. Brennan urged Council when considering strategic initiatives to consider achievability, affordability, a just do/should do, nice to have and are we prepared to delay or stop one initiative to advance another.

Resolution 2020-424

Moved by Councillor Taylor

Seconded by Deputy Mayor Macintosh

That Council direct Town staff to carry on with the current strategic priorities which are:

- Enhance communications, engagement, customer service and on-line/digital
- services (i.e report a problem)
- Focus on efficiencies
- Financial/Asset management and sustainability, budget planning and taxation
- Delivery model evaluation (policing, railway)
- Attract and retain businesses and investment
- Increase Tourism/continue implement Cultural Plan
- Safe and healthy community and neighbourhoods
- Welcoming, inclusive and accessible community
- Sustainability initiatives
- Downtown Revitalization/Broadway
- Recreation Program Review

Carried

Note: Council requested that Town staff look into additional health and safety initiatives in conjunction with the Traffic Calming Study.

Council indicated an interest in investigating a reallocation of the Town real estate portfolio.

12.2 Notice of Motion, Councillor Peters, Conservation Authorities Act**Resolution 2020-425**

Moved by Councillor Peters

Seconded by Deputy Mayor Macintosh

That notice be waived to allow for the introduction and consideration of a motion regarding amendments to the Conservation Authorities Act as the matter is time sensitive.

Carried

Resolution 2020-426

Moved by Councillor Peters

Seconded by Mayor Brown

WHEREAS the Province has introduced Bill 229, Protect, Support and Recover from COVID 19 Act - Schedule 6 – Conservation Authorities Act;

AND WHEREAS the Legislation introduces several changes and new sections that could remove and/or significantly hinder conservation authorities' role in regulating development, permit appeal process and engaging in review and appeal of planning applications;

AND WHEREAS we rely on the watershed expertise provided by local conservation authorities to protect residents, property, and local natural resources on a watershed basis by regulating development and engaging in reviews of applications submitted under the Planning Act;

AND WHEREAS the changes allow the Minister to make decisions without conservation authority watershed data and expertise;

AND WHEREAS the Legislation suggests that the Minister will have the ability to establish standards and requirements for non-mandatory programs which are negotiated between the conservation authorities and municipalities to meet local watershed needs;

AND WHEREAS the budget that Orangeville spends on conservation authority work is a bargain for the services provided;

AND WHEREAS municipalities believe that the appointment of municipal representatives on conservation authority boards should be a municipal decision; and the Chair and Vice Chair of the conservation authority boards should be duly elected;

AND WHEREAS it has been the Town of Orangeville's experience with the Credit Valley Conservation Authority that having a chair or vice-chair serve for more than one year has produced experienced individuals;

AND WHEREAS the changes to the 'Duty of Members' contradicts the fiduciary duty of a conservation authority board member to represent the best interests of the conservation authority and its responsibility to the watershed;

AND WHEREAS conservation authorities have already been working with the Province, development sector and municipalities to streamline and speed up permitting and planning approvals through Conservation Ontario's Client Service and Streamlining Initiative;

AND WHEREAS municipalities value and rely on the natural habitats and water resources within conservation authority jurisdictions for the health and well-being of residents; municipalities value conservation authorities' work to prevent and manage the impacts of flooding and other natural

hazards; and municipalities value conservation authorities' work to ensure safe drinking water;

THEREFORE, BE IT RESOLVED THAT: (i) the Province of Ontario repeal Section 6 of the Budget Measures Act (Bill 229), and (ii) that the Province continue to work with conservation authorities to find workable solutions to reduce red tape; AND

THAT this resolution be circulated to Premier Doug Ford, MPP Sylvia Jones, the Minister of the Environment, Conservation, and Parks Jeff Yurek, the Minister of Finance Rod Phillips, all Conservation Authorities and all Ontario Municipalities.

Carried

13. New Business

Councillor Andrews urged everyone to shop local this Christmas Season.

Councillor Sherwood indicated that most downtown businesses have extended their hours for the holiday seasons and advised that there is outdoor entertainment downtown on Friday evenings.

Councillor Sherwood indicated that the winter market will continue for the winter.

Mayor Brown indicated that Provincial Government approved additional beds for the Orangeville Long Term Care at Avalon.

Mayor Brown advised about the Teen Ranch outdoor program for the outdoor light show as well as Theatre Orangeville's virtual showcase.

14. Question Period

None.

15. By-Laws

Resolution 2020-427

Moved by Councillor Sherwood

Seconded by Councillor Post

That the by-laws listed below be read three times and finally passed.

A by-law to confirm the proceedings of the Council of The Corporation of the Town of Orangeville at its regular and closed Council Meeting held on December 7, 2020

Carried

16. Adjournment

Resolution 2020-428

Moved by Deputy Mayor Macintosh

Seconded by Councillor Taylor

That the meeting be adjourned at 8:31 p.m.

Carried

Sandy Brown, Mayor

Karen Landry, Clerk

December 01, 2020

Karen Landry, Clerk
Town of Orangeville
87 Broadway Avenue
Orangeville, ON
L9W 1K1

Dear Karen:

This correspondence provides a summary of the 2021 Credit Valley Conservation (CVC) budget as well as details relating to the Town of Orangeville levy apportionment.

Overview

Conservation Authorities are involved in a wide range of environmental based services and activities in support of local residents, member municipalities, the Province, as well as other stakeholders and agencies. The following list, summarizes the program areas that CVC provides or partners in the delivery of across the watershed, these include:

Flood Forecasting and Warning
Floodplain Mapping and Hydrology
Water Management Infrastructure
Storm Water Management
Watershed Plans
Source Water Protection
Water Quality and Quantity Monitoring
Climate Change

Plan Input, Plan Review and Permitting
Natural Heritage Systems Planning
Natural Areas Inventory and Monitoring
Forestry Management
Conservation Lands Management
Conservation Area Programs
Education and Outreach
Restoration and Stewardship Programs

Budget Process - To Date

The draft 2021 budget was presented to the CVC Board on October 16th, 2020 and endorsed for presentation to funding partners under Resolution #94/20. The full report is publicly posted on the CVC website or is available upon request. The information contained in this memo is a high-level summary.

The CVC draft 2021 budget has been shared with Peel Region and Halton Region staff and we have met with senior staff at both Regions. The draft budget is in line with budget directions received to date from the two Regions. The two Regions combined represent nearly 97% of total CVC levy funding.

Apportionment Formula

Table 1 shows the 2021 levy apportionment and the year-to-year change based on the data prepared by Municipal Property Assessment Corporation (MPAC) for the Ministry of Environment, Conservation and Parks (MECP).

Table 1: Municipal Apportionment for CVC Funders (% Share of Levy Apportionment)

Municipality	2021 %	2020 %	Apportionment Change	Apportionment Change (%)
Peel Region	91.6762%	91.7320%	-0.05574%	-0.061%
Halton Region	5.1446%	5.0626%	0.08200%	1.620%
Town of Orangeville	2.3854%	2.4078%	-0.02245%	-0.932%
Town of Erin	0.6114%	0.6176%	-0.00621%	-1.006%
Town of Mono	0.1126%	0.1126%	-0.00004%	-0.036%
Township of East Garafraxa	0.0588%	0.0565%	0.00229%	4.056%
Township of Amaranth	0.0112%	0.0111%	0.00014%	1.266%
TOTAL	100.00	100.00		

Budget 2021

Town of Orangeville's 2021 share is proposed to be \$292,800, an increase of 1.35% over 2020. The total funding request for Orangeville amounts to an increase of \$3,907 in 2021 over 2020 (see Table 2).

Table 2: Year-Over-Year Proposed CVC Total Levy Change

Municipality	2020 Total Levy	2021 Total Levy	% Change	\$ Change
Peel Region	\$24,611,096	\$25,230,382	2.52%	\$619,286
Halton Region	\$607,417	\$631,491	3.96%	\$24,074
Town of Orangeville	\$288,893	\$292,800	1.35%	\$3,907
Town of Erin	\$74,096	\$75,043	1.28%	\$947
Town of Mono	\$13,510	\$13,817	2.27%	\$307
Township of East Garafraxa	\$6,774	\$7,212	6.46%	\$437
Township of Amaranth	\$1,327	\$1,375	3.60%	\$48
Total Levy	\$25,603,113	\$26,252,120	2.53%	\$649,006

Total levy is composed of the General levy, the Shared Special levy and the Special Benefitting levy (Peel Region only). Additional information is provided in Appendix 1.

CVC General Levy Apportionment (shared)

The General levy is increasing by an average of 1.67% in 2021, down from 1.89% in 2020 (see Table 3).

Table 3: Municipal Apportionment of CVC General Levy for 2021
(% Share of Municipal General Levy and Funding based on Apportionment)

Municipality	2021 % Apportionment	\$ 2021 General Levy	\$ Change 2021 over 2020	% Change 2021 over 2020
Region of Peel	91.6762	\$9,102,958	\$227,378	2.56%
Region of Halton	5.1446	\$510,827	\$20,996	4.29%
Town of Orangeville	2.3854	\$236,852	\$3,884	1.67%
Town of Erin	0.6114	\$60,704	\$951	1.59%
Town of Mono	0.1126	\$11,177	\$282	2.59%
Township of East Garafraxa	0.0588	\$5,834	\$371	6.79%
Township of Amaranth	0.0112	\$1,112	\$42	3.92%
TOTAL	100	\$9,929,464	\$253,905	2.62%

CVC Special Levy Apportionment (shared)

The 2021 Special levy amount is increasing by \$22 or an average of 0.04% (see Table 4). Activities are funded by this Special levy on the same basis as the General levy and include ongoing work in the areas of subwatershed studies, natural heritage programs, terrestrial watershed monitoring projects, infrastructure major maintenance and dam major maintenance.

Table 4: Municipal Apportionment for CVC Special Levy based on 2021 CVA
(% Share of Municipal Special Levy and Funding based on Apportionment)

Municipality	2020 %CVA	Proposed 2020 \$ Apportionment	\$ Change	% Change
Peel Region	91.6762	\$2,150,225	0.92%	\$19,603
Halton Region	5.1446	\$120,663	2.62%	\$3,077
Town of Orangeville	2.3854	\$55,947	0.04%	\$22
Town of Erin	0.6114	\$14,339	-0.03%	-\$5
Town of Mono	0.1126	\$2,640	0.95%	\$25
Township of East Garafraxa	0.0588	\$1,378	5.08%	\$67
Township of Amaranth	0.0112	\$263	2.26%	\$6
TOTAL	100	\$2,345,455	0.98%	\$22,795

A package with individual business cases for projects funded through the Special levy is attached.

Budget Forecasts

Through the budgeting process CVC also undertakes forecasts for future budget years. The current 2022 budget forecast is at 3.12% and reflects both operating and capital related pressures that CVC anticipates.

Table 5, using 2021 apportionment, sets out the current forecast for 2022 only based on status quo. We would normally provide a three-year forecast but considering pending changes by the province our ability to forecast is impeded. The province has indicated that non-mandatory programs and services will require a Memorandum of Understanding (MOU) or service agreement between CVC and a benefiting municipality should they wish to continue the program in their jurisdiction. The province has suggested that they want to move ahead for the 2022 budget year. Completing all the necessary MOU negotiations in time for a 2022 budget will be a significant challenge for all funder municipalities in the midst of pandemic driven priorities and the municipal budget cycle that requires a preliminary draft budget by the end of Q2 for the Regions. The CVC board has already indicated that this is not a reasonable timeline. Town of Orangeville Council may also want to add their concerns and share with the province.

We will continue to work with our funders to help refine and adjust our budget forecasts and to seek opportunities to mitigate costs wherever possible, including applications for infrastructure funding, eligible programs and alternative funding sources.

Table 5: Municipal Apportionment of CVC General Levy & Shared Special Levy based on 2021 Current CVA Forecast

Municipality	2021 Budget \$	2022 Forecast \$	% Change
Peel Region	\$11,253,183	\$11,604,150	3.12%
Halton Region	631,491	651,186	3.12%
Town of Orangeville	292,800	301,932	3.12%
Town of Erin	75,043	77,383	3.12%
Town of Mono	13,817	14,248	3.12%
Township of East Garafraxa	7,212	7,436	3.12%
Township of Amaranth	1,375	1,418	3.12%
TOTAL	\$12,274,919	\$12,657,752	3.12%

Provincial Changes

On November 5th, 2020, the province released the budget Bill 229 - Protect, Support and Recover from COVID-19 Act (Budget Measures), 2020. Bill 229 includes amendments to 44 Acts, including Schedule 6 the Conservation Authorities Act. These new amendments are described in the Environmental Registry (ERO) posting "to improve transparency and consistency in conservation authority operations, strengthen municipal and provincial oversight and streamline conservation authority roles in permitting and land use planning".

Draft regulations are expected from the province late in 2020 or early in 2021 and this will provide clarity on what remains in the levy and what will be covered under Memorandum of Understanding (MOU).

The changes outlined in the Act have the potential to fundamentally change the CA budget as well as limit revenue recovery from planning and permitting activities. Without the regulations we are unable to assess the full impact for future budget years. The 2021 CVC budget is not impacted by these changes.

Budget Process – Next Steps

The 2021 Budget will be considered and presented for final approval at the February 19th, 2021 CVC Board of Directors meeting pending completion of the Peel Region budget process. The alternate date for consideration of the 2021 budget will be March 12th, 2021, if required. Notice of the budget meeting will also be posted to the CVC website. The CVC Board meetings commence at 9:15 AM and may be held by electronic means (remote access) or in person at the Authorities offices located at 1255 Old Derry Road, Mississauga (depending on local public health requirements in response to the pandemic at the specified meeting date). Please check the CVC website in the week prior to the meeting to confirm details. The meeting will be open to the public, persons wishing to attend must request to do so two full business day in advance of the meeting to ensure electronic (remote) meeting access. Full copies of all public reports, the agendas and the minutes for the CVC Board meetings are available on the CVC website or by contacting the Authority directly.

CVC is very appreciative of the partnership and support provided by the municipalities of the CVC watershed. Your ongoing commitment is vital to ensuring a natural environment that connects, protects and sustains our communities.

Further details are available upon request.

Sincerely,



Jeff Payne

Deputy CAO and Director, Corporate Services
CVC

Encl: Appendix - 1 (Summary Credit Valley Conservation Authority - Budget 2021)

Summary Credit Valley Conservation Authority - Budget 2021

	2020 Budget		2021 Budget			
Object Code Description	Revenue (\$)	% of Total	Revenue (\$)	% of Total	Net Change YOY	Net Change %
General Levy	\$9,675,558	27%	\$9,929,464	28%	\$253,906	2.6%
Special Levy (Shared & Special Benefitting)	\$16,563,554	46%	\$16,423,190	46%	-\$140,364	-0.8%
Other Federal/Provincial Grants	\$289,458	1%	\$500,000	1%	\$210,542	72.7%
Other Incomes	\$5,990,265	16%	\$5,294,633	15%	-\$695,632	-11.6%
Admin Overhead from Special Projects	\$3,357,029	9%	\$3,281,064	9%	-\$75,965	-2.3%
Capital Contributions	\$508,166	1%	\$549,524	2%	\$41,358	8.1%
Grand Total	\$36,384,030		\$35,977,875		-\$406,155	-1.1%
	2020 Budget		2021 Budget			
Object Code Description	Expenses (\$)	% of Total	Expenses (\$)	% of Total	Net Change YOY	Net Change %
Wages & Benefits	\$24,693,364	68%	\$24,783,066	69%	\$89,702	0.4%
Administration O/H Chargeback	\$3,357,029	9%	\$3,281,064	9%	-\$75,965	-2.3%
Services	\$3,376,924	9%	\$3,180,418	9%	-\$196,506	-5.8%
Materials & Supplies	\$1,461,598	4%	\$1,106,052	3%	-\$355,546	-24.3%
IT/Telecomm Chargeback	\$714,173	2%	\$758,661	2%	\$44,488	6.2%
Fleet & Lease Charges	\$637,648	2%	\$637,347	2%	-\$301	0.0%
Other Miscellaneous	\$2,143,294	6%	\$2,231,267	6%	\$87,973	4.1%
Grand Total	\$36,384,030		\$35,977,875		-\$406,155	-1.1%

2021 CAPITAL REPORT

Prepared by: Credit Valley Conservation

October 14, 2020



**Credit Valley
Conservation**
inspired by nature

CREDIT VALLEY CONSERVATION

Project Name:	Cause & Effect Program	CVC Account:	301-362
Location:	Watershed Wide	Peel Ref #:	21-1625
Project Manager:	Aviva Patel	Project Duration:	Ongoing
Rationale:	Growth, General Environment	Date Revised:	June 2020

Description of Project:

This program covers the analysis of cause and effect relationships relating to the Integrated Watershed Monitoring Program (IWMP) and other issues of concern or emerging issues identified through internal and/or external consultation. Where the IWMP is mandated to identify the status and long-term changes (trends) of key watershed attributes and indicators, the Cause and Effect Program (CEP) was initiated as a complementary program to:

1. Develop Ecosystem Assessment Points (e.g. thresholds or targets in monitored parameters) that will guide detailed CEP investigations and prioritize issues of concern;
2. Undertake Cause and Effect Investigations (e.g. investigate issues of concern) to determine likely causes of detected changes and/or impairment; and
3. Effectively communicate results to internal and external stakeholders, to guide informed decision making and conservation actions.

Ultimately this program is the integrative piece between the detection of impairment or change, and the provisioning of information upon which sound management and strategic decisions can be made. It aims to complete the cycle in adaptive ecosystem management and monitoring by leveraging the IWMP data to facilitate the production of conservation tools so that we can *'plan for an environmentally sustainable future'* and create *'innovative approaches that advance decision making'* in the Credit River watershed (Strategic Goals 1 and 4) in partnership with municipalities and other stakeholders. This program also supports planning and plan review divisions at CVC through the provision of technical reviews and monitoring oversight for large scale developments occurring in northwest Brampton and throughout the Region of Peel. The data and knowledge gained from these initiatives directly relates to the interpretation of watershed-wide cause and effect relationships and can be effectively communicated to inform future development planning and conservation actions.

Project Justification:

With ongoing development in the watershed, there is a need for tools and products to assist municipalities and developers with the preparation of robust development monitoring plans and cause and effect analyses to support said plans. This program also supports the review of developer led monitoring plans and reports for knowledge sharing with Peel and its member municipalities.

This program is intended to bridge the gap between monitoring and management decisions, by leveraging IWMP data. As changes in status and trends, or emerging threats are identified under the IWMP, the complementary cause and effect program focuses on understanding the causes behind the observed changes and recommends potential management actions when possible. Tools will be created that allow for the assessment of conditions, benchmarks against which conservation activities can be compared, management

triggers, and development of monitoring guidelines for external partners. The products delivered under this program are based on consultation with internal clients to ensure monitoring data can inform sound conservation actions on our lands and throughout the watershed. This program will also continue to use the specific knowledge gained from the original effectiveness monitoring program to inform future land use planning initiatives within the rest of the Credit River watershed where applicable.

2021 Project Deliverables:

1. In support of planning and plan review divisions at CVC, staff will summarize and disseminate results and lessons learned from Comprehensive Block 51-1 Monitoring Report produced by consultants. Knowledge transfer will inform future block development plans and help determine if follow up work within the Block 51-1 NHS is required.
2. Continued technical support to guide protection, management, and monitoring of natural heritage features within the Region of Peel through:
 - a. Technical input to developer led monitoring plans and monitoring reports (e.g. Block 51-2, Mayfield West, and Heritage Heights).
 - b. Finalize EIS data collection guidelines and provide internally to Planning and Development Services; this will provide consultants and partner agencies with clear direction on data collection protocols and provision of data, to maximize the broader utility of these data to inform resource management and policy decisions.
3. In support of the management of CVC and municipal lands, ecosystem assessment points (ecological thresholds) will be finalized that identify resource management targets, assessment triggers, and management triggers for urgent conservation action. This will be documented in a technical addendum to the Cause and Effect Framework Document.
4. Continue two cause and effect investigations, to inform or improve the management of CVC and municipal lands. One investigation (impacts of sugar maple dominance in forests and management recommendations) will be completed, and results communicated in 2021. The second investigation (impacts of SWM ponds on downstream temperature and flow) will be initiated in 2021 and continue to 2022.
5. Development, measurement and tracking of key performance indicators in partnership with TRCA and the Region of Peel for the measurement and reporting on Peel climate change special levy programs.

Impact if Project is Delayed:

Provision of technical monitoring support to municipalities and other stakeholders is an important part of CVC's role as technical expert and advisor to its partners. Analysis and reporting of key issues arising from monitoring data is an essential component of adaptive monitoring and adaptive environmental management and supports CVC's land management and plan input roles. Delays in this program will affect the ability of CVC, its municipal partners, and CVC's partner agencies to implement adaptive environmental management and recommend best management practices.

Reductions in program scope and/or delayed implementation will:

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- Restrict CVC's ability to acquire relevant data and provide scientifically based management recommendations and conservation tools that can inform management decisions and watershed planning.
- Prevent CVC from meeting its commitments to the City of Brampton through technical guidance and reviews related to development monitoring in Northwest Brampton.

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
185,877	\$188,217	\$267,864	\$274,079	\$280,906

Signed off by:

Aviva Patel
Senior Manager, Ecology and Monitoring/



Gayle Soo Chan
Director, Watershed Knowledge

CREDIT VALLEY CONSERVATION

Project Name:	Natural Heritage Inventory and Mapping	CVC Account:	301-356
Location:	Watershed Wide	Peel Ref #:	21-1631
Project Manager:	Aviva Patel	Project Duration:	Ongoing
Rationale:	General Environment, Growth, Regulatory	Date Revised:	June 2020

Description of Project:

This program includes comprehensive inventory and mapping of representative natural areas throughout the Credit River Watershed including but not limited to features within Peel and other municipal natural heritage systems, conservation authority (CA) lands, CA regulated wetlands, and Environmentally Sensitive Areas (ESAs). Comprehensive community, flora and fauna surveys are conducted using appropriate inventory methodologies such as the Ecological Land Classification System (ELC) for Southern Ontario. The program also has data management and reporting components. Data from this program contribute to baseline ecological community mapping that is fundamental to most natural heritage mapping activities undertaken by CVC as well as by its partners and collaborators. The community and species level data along with analysis and reporting products are critical in assisting CVC and its partner agencies and municipalities to undertake appropriate land and water management activities.

The inventory work is carried out on private and public properties. On private properties, landowner contacts and relations play an important role in the implementation of the program and provide opportunities for follow up with restoration and stewardship activities. Inventories on municipal and CA lands assist in land management and protection. This program is carried out in partnership with all watershed municipalities, neighbouring conservation authorities, community groups and landowners. From time to time, specific municipalities (e.g. Brampton) provide additional one-time funding to leverage staff expertise in inventory and to advance the program schedule for specific municipally owned or managed lands.

Project Justification:

The Natural Heritage Inventory and Mapping program provides high quality data and mapping that is fundamental to science-based environmental decision making and management. This information enables municipalities to identify and protect significant natural features and areas in accordance with municipal and provincial policy (e.g. Provincial Policy Statement, Official Plans) and assess the value of their natural assets. CVC planners also directly rely on Natural Heritage evaluations to determine the sensitivity of features, to ecological functions such as hydrological systems as related to CA regulations. Municipal planners use the information to help guide protection and management of municipally owned natural areas. An understanding of these features informs recommendations for mitigation or compensation of potential land use impacts and guides CVC restoration, stewardship and education programs. Comprehensive inventory data are needed as a base for environmental policies and programs and for managing CA lands. Accurate mapping is critical for development of natural heritage systems within CVC and by municipalities, and for updating official plans. This work builds strong, positive relationships with landowners across the Credit River watershed.

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2021 Project Deliverables:

- Field inventory data collection from May through September covering over 500 hectares including Ecological Land Classification and community mapping; botanical, breeding bird and bat inventories; and incidental records of other fauna or features including invasive species. Field data supports updates to natural heritage systems for Peel and its member municipalities, and supports CVC's land management and plan input activities
- Wetland characterization and mapping supporting mapping updates and wetland and natural hazards management
- Updated mapping of CVC's land cover and land use information and data management of the Natural Heritage database to ensure efficient and effective data sharing with municipal, planning, or land management staff or consultants
- Natural Areas Inventory report: Site summaries of natural areas for which recent inventories have been completed, including Environmentally Significant Areas, Centres for Biodiversity including CVC lands, and natural areas containing CVC monitoring stations. This will supplement Volumes 1 through 8 (hosted on the Peel Data Centre website) and Volume 9 which is currently in preparation.
- Development and dissemination of Natural Heritage data interpretation tools to facilitate internal and external knowledge transfer (e.g. updated plant species list for the watershed, compilation of stewardship recommendations by natural area, invasive species location tool)
- Support to other CVC projects, programs (e.g. watershed management, Landscape Analysis of Wetland Biological Integrity project, Flora L-ranking (Species of Conservation Concern) project and restoration projects, watershed plan)

Impact if Project is Delayed:

Delay of program activities impacts both the Region and watershed municipalities' ability to identify and protect significant natural heritage features in accordance with the Provincial Policy Statement and municipal Official Plans will be significantly impacted. This work provides essential information for several ongoing CVC programs including the Land Securement Program, Land Management Plans, Plan Input and Review, Natural Heritage System Strategy, Forest Management Plan, Emerald Ash Borer action plan, Invasive Species Strategy, Biodiversity Conservation and Management Program, Landowner Action Fund project assessment, and more. Failure to undertake this inventory work impacts the ability of CVC to implement many of its current programs, to manage its lands, and to respond to specific data requests within and outside CVC. Delays or failures in undertaking the work may add time to the land use planning process thereby increasing costs and reducing efficiencies for watershed stakeholders.

2021 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
429,216	\$433,619	\$446,628	\$460,947	\$476,676

Signed off by:

Aviva Patel
Senior Manager, Ecology and Monitoring



Gayle Soo Chan
Director, Watershed Knowledge

CREDIT VALLEY CONSERVATION

Project Name:	Leaders for Clean Waters- Headwaters	CVC Account:	101-199
Location:	Watershed (Partial)	Peel Ref #:	21-1639
Project Manager:	Jennifer Dougherty	Project Duration:	Ongoing
Rationale:	Climate Change/Asset Management	Date Revised:	June 2020

Description of Project:

Local climate change trends challenge us to consider existing risks and responsibilities with a new lens, one where the environmental conditions of the past do not dictate what we may experience now and into the future. Short duration high intensity storm events that have occurred across the CVC watershed over the last 10 years have highlighted our vulnerability to flooding and the cascading impacts to our environment and communities. CVC's Leaders for Clean Waters- Headwaters Program focuses on understanding local climate risks with a focus on flooding, water quality and natural hazards. This Program delivers technical climate risk assessments, tools, training and stormwater performance monitoring to assist partners in understanding local risks and evaluate the cost benefit of grey and green infrastructure solutions to make evidence-based cost-effective decisions to reduce flooding and natural hazard risks under existing and future climate scenarios.

The Leaders for Clean Waters – Headwaters (LCWH) program aims to:

- Support our municipal partners by identifying and quantifying the direct and indirect damages associated with flooding and natural hazards under historic and climate change conditions
- Support watershed and asset management planning through the application of the Risk and Return on Investment Tool (RROIT) which evaluates the cost benefit of implementing natural assets, grey and/or green infrastructure solutions
- Address implementation barriers identified by stakeholders and provide rigorous assessments on stormwater performance and maintenance of green infrastructure to support wide scale adoption and support asset management planning.

This program both complements and serves 101-021 (Integrated Watershed Management Knowledge Transfer), 101-048 (Infrastructure Performance and Risk Assessment) and 101-008 (Water and Climate Change Risk Assessments Program) through the provision of LID performance data watershed wide and climate risk assessments.

Project Justification:

By working collaboratively, this program ensures opportunities for information sharing and building knowledge capacity to address complex urban challenges to minimize risk and optimize return on investment. Additionally, this program supports planning approvals, modelling, and optimization of stormwater management to protect source water protected areas and reduce downstream risks to Peel Region.

The Leaders for Clean Waters – Headwater Program supports the Region of Peel's Climate Change Master Plan (2019) Outcomes 3 and 4.

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2021 Project Deliverables:

- Comprehensive field monitoring and reporting on 4 stations (MITG) to assess long-term stormwater management performance and maintenance considerations of a residential subdivision treatment train with SWM ponds and up-gradient LIDs.
- Conduct stormwater monitoring on special projects on a fee for service supplementary basis to assist municipalities such as Halton Region and the Town of Halton Hills (Acton project), with LID implementation, maintenance and inform stormwater asset management programs.
- Delivery of a webinar through Sustainable Technologies Evaluation Program to demonstrate performance of residential application of LIDs.
- Delivery of a workshop demonstrating the Green Infrastructure Asset Management Tool for the partner municipalities and stakeholders.
- Run the Risk and Return on Investment Tool (RROIT) in Mill and Monora Creek to quantify direct and indirect damages to private and public properties and infrastructure from riverine flooding and erosion.
- Run the RROIT for the Credit River Watershed to assess potential damage costs from riverine flooding and erosion and evaluate the cost benefits of natural assets and stormwater practices to inform CVC's Watershed Plan. Recommendations from the Plan will support Municipal plans in compliance with the PPS (2019) and Growth Plan (2019).

Impact if Project is Delayed:

Reductions in program scope and/or delayed implementation will:

- Delays would jeopardize CVC's ability to support Peel and member municipalities implement LID including ongoing performance, operation/maintenance considerations, training and other knowledge transfer tools.
- Jeopardize commitments made in the MOU with Halton Region and the Town of Halton Hills (including Acton project performance monitoring), required for municipal WWTP ECA compliance conditions.
- Delays in running the RROIT would jeopardize CVC's ability to identify priority flood and erosion risks areas to support CVC's watershed plan recommendations.
- Unable to run the RROIT to support flood and erosion risk reduction for Mill and Monora and identify mitigation measures to reduce downstream impacts.

2021 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
143,630	\$145,145	\$149,500	\$154,293	\$159,558

Signed off by:

Jennifer Dougherty
Senior Manager, Water and Climate Change Science



Gayle Soo Chan
Director of Watershed Knowledge

CREDIT VALLEY CONSERVATION

Project Name:	Ecological Goods & Services	CVC Account:	301-323
Location:	Watershed Wide	Peel Ref #:	21-1670
Project Manager:	Tatiana Koveshnikova	Project Duration:	Ongoing
Rationale:	Human Well- Being, Growth	Date Revised:	June 2020

Description of Project:

This program serves as the socio-economic component of watershed research and monitoring, establishing and communicating links between watershed management, the ecological health of the watershed, and health and well-being of local communities. Models and tools developed under this program provide input into the CVC Watershed Plan and provide guidance for restoration actions on CVC lands and across municipalities. This program provides data on the monetary values of watershed ecosystem services and is developing metrics and tools to measure and report on changes in the health and wellbeing of watershed residents as they relate to changes in environmental conditions and management/restoration actions. This program both complements and serves the Peel Natural Assets Projects (301-319). The program also assists in providing evidence-based data on the benefits of green space and natural environment for the residents in major urban and near-urban centres in the watershed.

Project Justification:

The health of watershed residents is inextricably linked to the health of the Credit watershed's ecosystems. Watershed residents both affect and are affected by watershed ecosystems and the services they provide.

Since 1999, CVC has been implementing an Integrated Watershed Monitoring Program that incorporates information on the watershed's health, including hydrology, water quality and terrestrial indicators. Currently monitoring is only conducted for biophysical measures of environmental health, although it has been recognized that a comprehensive watershed monitoring and assessment system should also include aspects of related social and economic well-being.

This program is aimed at developing a comprehensive framework and set of indicators to assess, monitor and communicate environmental connections to the well-being of watershed residents. This program has the following objectives:

- To better understand the importance of various environmental attributes and ecosystem services and their contribution to the well-being of watershed residents;
- To determine impacts that changes in the level/quality of key environmental attributes in the watershed have on the well-being of its residents;
- To relate these estimates to current and future watershed conservation, restoration and management strategies to assess how well watershed residents and visitors are being served and what additional actions CVC and its partners can take to improve their well-being.

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2021 Project Deliverables:

In 2021, the Program will:

- Provide support to CVC's Watershed Plan Phase 2 through the Health and Well-being and other EGS tools to ensure healthier, resilient and sustainable communities
- Continue improving and applying the Health and Well-being valuation tool to assist CVC restoration staff and partners with the assessment of co-benefits and prioritisation of restoration actions
- Recognizing that this is innovative work, continue collection of new data for adapting, refining and applying valuation approaches and methodologies to assess and communicate outputs of CVC restoration actions to demonstrate that restoration work responds to stressors such as climate change by mitigating associated impacts.

Impact if Project is Delayed:

Failure to deliver the program will result in the inability to provide critical socio-economic input into the CVC watershed planning to ensure it addresses community health and well-being components. Timely delivery of the program will help to ensure that CVC's restoration and management projects benefit residents and visitors while increasing provision of environmental benefits.

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
81,795	\$82,240	\$84,707	\$87,423	\$90,406

Signed off by:

Tatiana Koveshnikova
Senior Coordinator, EGS



Gayle Soo Chan
Director of Watershed Knowledge

CREDIT VALLEY CONSERVATION

Project Name:	Headwaters Outreach	CVC Account:	301-335
Location:	Watershed (Partial)	Peel Ref #:	21-1670
Project Manager:	Lisa Hohban Brusse	Project Duration:	Ongoing
Rationale:	General Environment	Date Revised:	August 2020

Description of Project:

This program enhances outreach programming in the headwater communities of Halton, Erin, Dufferin and Caledon through establishment of partnerships with community groups, municipalities and landowners. The program engages partners in stewardship actions using outreach, education and behaviour change strategies. Target audiences learn about local land and water management issues and are supported with technical advice, restoration services and/or incentives to facilitate environmental stewardship activities that improve water quality or quantity, build ecosystem resilience to climate change and enhance wildlife habitat and biodiversity. The program builds local awareness of climate change and other priority watershed issues and the role of landowner and community stewardship in protecting and restoring watershed health.

Emphasis is placed on moving from awareness to action. Recommendations from scientific studies, reports and strategies are used to target outreach to priority areas and actions. Projects such as wetland restoration, tree planting, vegetated buffers, ground water protection, water quality/quantity enhancement and protection, invasive species management and, in settlement areas, lot level rainwater management (LID) are supported.

Project Justification:

Protecting headwater features and systems is critical to maintaining overall health of the watershed, especially given heavy urbanization in the lower watershed and dependence on healthy headwater systems for groundwater infiltration and recharge, flood control, fish spawning and nursery sites, and biodiversity. With over ninety per cent of the rural landscape under private ownership, strong stewardship programming is needed to facilitate landowner and community participation. Outreach to our headwater communities is critical to implementing strategic priorities and facilitating adoption of stewardship actions that build resilience to climate change and help protect and restore watershed health.

2021 Project Deliverables:

- Support the delivery of Wellington and Dufferin Rural Water Quality programs.
- Deliver Countryside Stewardship landowner workshops.
- Conduct 30 landowner site consultations to facilitate implementation of environmental improvement projects.
- Administer \$18,750 in grants through the Landowner Action Fund to support implementation of private land stewardship projects in the headwaters region (with a primary focus outside of Peel).
- Install 12 Caring for the Credit signs at entrances to rural properties to recognize landowners and build social norms.
-
- Coordinate inter-agency implementation of priority actions in Hungry Hollow Sustainable Neighbourhood Action Plan (SNAP)
- Coordinate 3 Implementation Committee meetings for Hungry Hollow SNAP

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- Coordinate and deliver 1 neighbourhood engagement event (Action Plan launch)

Impact if Project is Delayed:

Failure to maintain a stewardship program in the headwater communities could lead to a slow deterioration in the health of the rural watershed through a lack of education, appreciation and action by rural landowners and communities. Sustained investment in landowner relations and education is essential to driving stewardship. Motivating behaviour and attitude change require dedication and continuity without which past investment, good will and trust as well as future opportunity are at risk.

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
120,864	\$120,669	\$124,289	\$128,274	\$132,651

Signed off by:

Lisa Hohban Brusse
Manager, Landowner Outreach

Jeff Payne
Deputy CAO,
Director of Corporate Services

CREDIT VALLEY CONSERVATION

Project Name:	Landscape Science	CVC Account:	301-353
Location:	Watershed Wide	Peel Ref #:	21-1670
Project Manager:	Aviva Patel	Project Duration:	Ongoing
Rationale:	Growth, General Environmental	Date Revised:	June 2020

Description of Project:

This program has two major areas of focus: 1) Natural Heritage System Support incorporating a watershed approach; and 2) reporting on status and trends in watershed health and analysis of long-term monitoring program data to identify emerging threats and provide management recommendations.

Natural Heritage System (NHS) Support: This program has developed a Natural Heritage System (NHS) Strategy to ensure continued watershed health and human benefits given current and future stressors. The program has since evolved to provide support for the implementation of the natural heritage system at regional and municipal scales to protect and enhance water quality and quantity, and to improve the health of the natural system across the Credit River watershed. The NHS Strategy is being implemented externally by municipalities and with support from CVC through stewardship strategies and landowner programs to ensure effective and efficient use of taxpayer dollars. Through this program, CVC partners with municipalities to tailor its NHS for their use, or to review mapping for municipal natural heritage systems at the time of Official Plan updates. Landscape Science also includes research and tools to manage the natural heritage system, including road and valley crossings research for fish and wildlife connectivity, and Centre for Biodiversity plans. The Urban Natural Heritage Program (301-355) supplements the work of Landscape Science by partnering with urban municipalities (Mississauga, Brampton) on urban forest and urban natural heritage system projects and strategies.

Watershed Health Reporting: A second major focus of this program includes watershed health reporting in support of the NHS Strategy. Data from the Integrated Watershed Monitoring Program (IWMP) are analyzed with regular reporting on the condition of groundwater and climate, and the health of streams, forests and wetlands. The program includes integrative analyses of abiotic (e.g. water quality, land use and land cover) and biotic (e.g. fish) variables to characterize ecosystem health (i.e. status), highlight any changes in status and identify emerging issues. If an issue has been identified, and the underlying cause(s) and recommended management actions are not known, then this could potentially trigger further investigation by CVC's Cause & Effect Program (301-362) with the goal of supporting management recommendations in all CVC departments and with stakeholder activities.

Project Justification:

Landscape Science projects provide important information for the Region of Peel's Climate Change Strategy and future updates of the Region's Official Plan. The NHS provides a common watershed context for CVC to provide sound, science based natural resource management information to municipalities and key stakeholders including CVC's land managers, provides efficiencies for plan input and plan review at provincial, regional or municipal scales, and lessens uncertainty to watershed stakeholders. Development, implementation and monitoring of the NHS supports Peel Term of Council's priorities relating to natural heritage and municipal Official Plan mapping and updates.

Analysis and reporting on long term watershed monitoring data is critical to managing the multiple stressors that continue to affect watershed health. Data from IWMP are used to inform municipal, agency, academic or non-governmental organizations' analyses, strategies, and actions relating to environmental health, to ensure continued provision of ecological benefits to society. Monitoring can help provide recommendations for effective management of CVC and municipal lands.

2021 Project Deliverables:

1. Natural Heritage System Support: Municipalities recognize the need for a healthy NHS for health and prosperity in the watershed. The scientific support provided is critical to this goal.
 - Continued technical support to the Region of Peel throughout its consultation and potential implementation of a Caledon and Peel Region NHS, subject to municipal timelines. This involves incorporation of the results of the CVC-led Regional NHS Integration Project, which mapped a Caledon CA NHS (Phase 1, 2018) and a Region of Peel CA NHS (Phase 2, 2019).
 - Provide technical review and support for the Town of Caledon's Official Plan review and update, subject to municipal timelines.
 - Lead Ecology and Natural Heritage components of the Watershed Plan; Lead mapping of future land use change scenarios.
 - Ongoing implementation of the monitoring framework for the Natural Heritage System Strategy, including production of a five-year report card on CVC's actions as an agency under the strategy.
 - Continuation and finalization of Phase 2 of the Road and Valley Crossings Project (Phase 2 - initiated in 2020) identifying priority bridges and culverts to target for improving fish and wildlife passage, to guide municipal infrastructure upgrades and restoration priorities. Project report has been delayed due to time required for other priority projects requested by Peel over 2018-2019 (e.g. development of the Peel Conservation Authority Natural Heritage System to support the Region's Official Plan review, as well as COVID-19 pressures on information management staff).
 - Input to strategies, plans and guidance documents relating to natural heritage systems and landscape ecology; e.g. watershed plan, subwatershed studies, Centers for Biodiversity programs, ecological restoration strategy and guidelines, Sustainable Neighbourhood Action Plans (SNAPs), Greenlands securement strategy.
2. Watershed health reporting: Analyses of long-term monitoring data
 - Continued reporting on key results from forest, wetland, stream, groundwater, climate and landscape monitoring indicators through blogs and social media.
 - Publish an IWMP Story Map on CVC's website that will share up-to-date information in an easy-to-read, visually appealing format, including what is IWMP, our top stories and site metadata.
 - Produce and distribute 2020 information packages to monitoring site landowners - improves stakeholder understanding of watershed health and the importance of Regional natural heritage systems.
 - Publish a resource on CVC's website summarizing some climate change indicator status and trends based on watershed data.
 - Produce a report summarizing IWMP's power to detect status and trend of select indicators based on current study design. This is a routine program evaluation to demonstrate accountability.

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Impact if Project is Delayed:

Municipalities are required to identify natural heritage systems by the Province through the Provincial Policy Statement. A natural heritage system for the Region of Peel and other CVC member municipalities, developed using watershed and systems approaches and extensive CVC data, is essential to ensure continued protection and enhancement of the region's natural areas and the ecosystem benefits they provide.

Timely analysis and reporting of monitoring data is an essential component of adaptive monitoring and adaptive environmental management. Delays in this program will affect the ability of CVC, its municipal partners, and CVC's partner agencies to implement adaptive environmental management and recommend better management practices.

Reductions in program scope and/or delayed implementation will:

- Threaten the ability of natural systems to adapt to climate change and to be resilient to the impacts of human activities
- Limit the ability of municipalities to implement effective land use planning and manage their natural resources based on the collection of sound data and best available, defensible science
- Decreased/inadequate knowledge base to support conservation authority and municipal partner legislative responsibilities both direct and indirect (Planning Act, Growth Plan, Provincial Policy Statement, Niagara Escarpment Planning and Development Act, Greenbelt Plan, Oak Ridges Moraine Conservation Plan, etc.).

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
530,251	\$541,833	\$558,088	\$575,980	\$595,635

Signed off by:

Aviva Patel
Senior Manager, Ecology and Monitoring



Gayle Soo Chan
Director of Watershed Knowledge

CREDIT VALLEY CONSERVATION

Project Name:	Infrastructure/Major Maintenance - CA's	CVC Account:	401-455
Location:	Watershed Wide	Peel Ref #:	21-3103
Project Manager:	Terri LeRoux	Project Duration:	Ongoing
Rationale:	Health & Safety, Asset Management, Growth	Date Revised:	August 2020

Description of Project:

CVC currently owns approximately 2,800 hectares (7,100 acres) of land. The total land holdings are comprised of 62 distinct properties located throughout the watershed. Eleven (11) of these properties are 'active' Conservation Areas where there are well developed facilities, programs and services for visitors as well as developed trail systems and related infrastructure. These properties are referred to collectively as our Core Conservation Areas. Many of the remaining properties are largely maintained in a naturalized state with limited public access, while other properties are under long term leases with municipal partners and other public agencies.

This program supports ongoing asset management related to maintenance, repair, and additions to conservation area infrastructure including, but not limited to, land improvements (roads, trails, parking lots and signage), structures (buildings, trailers, pavilions, etc.), infrastructure (culverts, septic fields, utility lines) and property management (leases, agreements, documentation, technology, etc.). This program also provides funding for long-range strategic planning and targeted, new, capital construction projects that address the growing public demand for facilities and outdoor recreation infrastructure throughout the watershed.

Project Justification:

Asset management is necessary for the following reasons:

1. Reduction of risk and liability;
2. Ensure a state of good repair;
3. Meet population growth and increasing demand for recreation opportunities;
4. Achieve accessibility standards required under legislation; and
5. Provide full lifecycle asset management planning.

2021 Project Deliverables:

Capital Asset Repair/Maintenance and Improvements

- Proactive minor to moderate repair and maintenance of existing capital assets (land improvements, structures, and infrastructure) to address all health and safety concerns (e.g. ongoing boardwalk and trail repairs, upgrades and replacements, over 80 km of trails)
- Addressing hazard tree management on an ongoing basis (different from EAB, all hazards including those resulting from weather events)
- Proactive minor to moderate repair and maintenance of existing capital assets (land improvements, structures, infrastructure) to address deterioration of assets (state of good repair)
- Replacement of minor assets (e.g. signage, benches)
- Studies/drawings/professional services for activities such as site visits to inventory and assess bridges and board walks at various conservation areas to include in our asset management system, development of an asset management system, detailed technical plans from professional engineers and architects all leading to major repairs/maintenance/upgrading existing assets including top surfacing/squaring off existing parking lots to improve drainage and increase capacity, bring selected walking/hiking trails to AODA standards and repairs and maintenance to existing picnic pavilions
- Install replacement and enhanced way finding signage and educational/interpretive signage

Strategic Planning

CREDIT VALLEY CONSERVATION

- Implementation of priority initiatives resulting from the Visitor Experience, Land Acquisition, and Indigenous Engagement Plans produced as part of the Conservation Areas Master Strategy (CAMS).
- Completion of Island Lake Conservation Area Management Plan; scoping management plan processes for priority properties throughout the watershed, pending results of CAMS work and acquisitions.
- Support the implementation of the Credit Valley Trail Strategy with watershed partners and stakeholders including implementation of the heritage destination plan, indigenous experience plan, and other strategic directions from the CVT Strategy.
- Monitor CVC lands (asset inventories, trail assessments for accessibility) and Visitor Monitoring (visitor surveys; trail counter data management and analysis, postal code analysis) data is collected at selected properties to support planning, operations and property management.

Capital Projects

- Design, permitting, and implementation of approved capital projects on active properties throughout the watershed. Projects can be maintenance, repair, or new construction. Projects include construction projects for new trail infrastructure, park servicing, and other visitor amenities; construction or installation of new park servicing, trails, parking areas, pavilions, signage, and park program related infrastructure.

Impact if Project is Delayed:

Delays in this project could result in increased health and safety risks/liabilities for the public and staff. Capital costs could increase without regular maintenance (facilities, infrastructure and dams). Timely investments avoid negative impacts to conservation area natural assets (e.g. unsanctioned trails/use or harm to the environment) and address legislative requirements related to accessibility. Conservation Area programs offset land management costs, so ensuring a positive visitor experience which is critical to achieving revenue targets (both recreational and educational) and desired level of service. Strategic investments will support revenue growth and increased market share.

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
602,308	\$604,795	\$622,938	\$642,910	\$664,848

Signed off by:

Terri LeRoux
Sr. Manager, PARCS

Jeff Payne
Deputy CAO, Director of Corporate Services

CREDIT VALLEY CONSERVATION

Project Name:	Infrastructure Major Maintenance-Dams	CVC Account:	401-456
Location:	Watershed Wide	Peel Ref #:	21-3103
Project Manager:	Jeff Wong	Project Duration:	Ongoing
Rationale:	Public Safety, Regulatory	Date Revised:	Aug 2020

Description of Project:

This project plans for and undertakes major maintenance and upkeep of CVC owned and operated water control structures and completion of associated due diligence studies and reports intended for the ongoing protection of public safety. CVC owns and/or operates several control structures located on the main Credit and its tributaries including Island Lake North and South Dams, Belfountain Dam, Monora Dam, Erindale Ice Control Structure, and the Willoughby (Stonecutter's) Dam and weir (per management agreement with Ontario Heritage Trust). Minor maintenance activities such as routine vegetation management and debris removal at Erindale are covered under a separate General Levy budget code (401-453). Staff salaries for dam maintenance are drawn from 101-058.

Project funding supports:

- Studies and reports required under the Lakes and Rivers Improvement Act (LRIA) including Dam Safety Reviews, Emergency Preparedness Plans and Operation, Maintenance and Surveillance Manuals;
- Ongoing monitoring and surveillance of dam infrastructure;
- Contracted design and implementation of major works; and
- Application to Ministry of Natural Resources and Forestry for grant funding assistance under the province's Water and Erosion Control Infrastructure (WECI) Program.

Project Justification:

The Ministry of Natural Resources and Forestry (MNRF) approves and regulates the design, construction, operation, maintenance and safety of water control structures (dams) in Ontario under provisions of the *Lake and Rivers Improvement Act* (LRIA or the Act). The Act assigns duties and responsibilities to dam owners and operators. As operator and owner of water control structures, CVC is required and committed to ensure our structures are operated and maintained in compliance with the Act.

The costs of maintaining CVC's dam infrastructure are substantial and can vary over time. Aging infrastructure, changes in legislative requirements, and other factors influence the scope and timing of the capital investments in major maintenance, repairs and replacement needed to ensure compliance with LRIA requirements.

2021 Project Deliverables:

On-going Monitoring: The following on-going monitoring projects will continue in 2021.

- Island Lake South Dam – monitoring stability of the east and west embankment retaining walls.
- Island Lake South Dam – monitoring of the post-tension anchors
- Belfountain Dam - inclinometer monitoring of the retaining wall that extends upstream from the dam adjacent to the fountain.

CREDIT VALLEY CONSERVATION

Island Lake Dam Repairs - The 2016 Island Lake Conservation Area Dam Safety Review Update (DSR Update) recommended over \$1 Million of studies and repairs over the next few years. CVC has developed a schedule for implementing the essential recommendations on a priority basis:

- The Island Lake South Dam Outlet Improvement and Wall Stabilization, Phase I was completed in the spring of 2018. The Phase II project (entailing the installation of tie-back and post-tension anchors) was completed in April 2020. The Phase II project, with a cost in excess of \$800,000, used available funding under 401-456 for two fiscal years along with funding provided by the Province under the WECl program.
- The 2016 DSR recommended that a detailed inspection by a qualified engineer be completed after 5 years of the DSR. This work will be completed in 2021.
- The rehabilitation of the pressure relief wells on the Island Lake South Dam West Embankment was completed in 2015. As a follow up to the well rehabilitation, further well performance testing will be complete in 2021.

Other Projects:

- Erindale Ice Control Structure - Shoreline Repairs are necessary to ensure the efficiency of the Structure. It is anticipated that the City of Mississauga will complete these works in 2023.
- Monora Dam - CVC staff noticed icicles forming inside of the Monora Dam culvert during a January 2018 routine inspection. Dam Safety experts were retained by CVC to assess the condition of the culvert. In 2019 CVC implemented a short-term repair solution to improve the function of the discharge culvert. In 2020/21 CVC is undertaking a Feasibility Study to determine the long-term plan for the Monora Dam. Options include repairing, lowering or removing the dam.
- TCCA Structures – An assessment of the remaining structures at Terra Cotta Conservation Area will be continue in 2021, subject to funding availability.

Impact if Project is Delayed:

Completion of these studies and works are legislated and/or due diligence requirements. Delays can place the public at greater risk and expose CVC to liability under the Lakes and Rivers Improvement Act or other statutes. WECl funding from the Province will provide 50% cost of eligible projects. Matching funds are required, and works are done during the Provincial fiscal year (from Apr 1 to March 31 of the following year). Failure to meet the Mar 31st deadline can impact WECl funding.

2021 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
222,557	\$221,923	\$228,581	\$235,909	\$243,960

Signed off by:



Jeff Wong
Senior Water Operations Engineer

John Sinnige
Associate Director, Watershed Management

CREDIT VALLEY CONSERVATION

Project Name:	Warwick Office and Nursery Infrastructure	CVC Account:	301-327
Location:	Watershed Wide	Peel Ref #:	21-3104
Project Manager:	Moheb Ekladios	Project Duration:	2021-2022
Rationale:	Asset Management,	Date Revised:	July 2020

Description of Project:

Warwick Conservation Area includes both office space and the nursery operations centre. The facility provides office space for the staff undertaking the programs and services based out of Warwick. The nursery operations include the facilities necessary for the production of native tree, shrub, plant and seed stock. Capital asset management needs of this facility are captured in this account.

Project Justification:

This project focuses on supporting effective asset management and maintaining the current state of good repair. Funding will enable infrastructure changes that will support efficient operations, maintain a safe work environment and to ensure efficient delivery of programs and services. The nursery products (trees, shrubs, plants and seeds) support carbon sequestration, water retention, improved water quality, sustain native plant stock and promote biodiversity. This facility is critical for CVC and its partners to accelerate climate change adaptation and mitigation strategies.

2020 Project Deliverables:

- Improve the safety of the entrance/exit to the site
- Create a natural windbreak and deer fencing
- Complete landscaping, site grading and material storage facilities
- Enhance site storm water management and drainage

Impact if Project is Delayed:

If funding to support asset management of the Warwick facility is not in place it will lead to inefficiencies within the maintenance and operations which translate to higher operating costs.

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
112,509	\$112,568	\$115,945	\$119,662	\$123,746

Signed off by:

Moheb Eladios
Senior Manager, IT, IM and Infrastructure

Jeff Payne
Deputy CAO & Director of Corporate Services

CREDIT VALLEY CONSERVATION

Project Name:	Enforcement Program- Peel	CVC Account:	401-462
Location:	Watershed Wide	Peel Ref #:	21-3104
Project Manager:	Terri LeRoux	Project Duration:	Ongoing
Rationale:	Health and Safety	Date Revised:	August 2020

Description of Project:

The purpose of the Enforcement Program is to regulate activities on lands owned by CVC, to ensure visitor safety and to protect public assets. With the support of the Peel Region Greenland Program CVC has been able to secure key land holdings to protect the natural environment (wetlands; forests; meadows), address flooding (hazard lands) and to connect existing land holdings. With the addition of new lands comes an expanded responsibility for CVC to protect assets and address infractions through education and enforcement.

CVC currently owns approximately 2,800 hectares (7,100 acres) of land. The total land holdings are comprised of 62 distinct properties located throughout the watershed. Five (5) of these properties are 'active' Conservation Areas where there are well developed facilities, programs and services for visitors. Another six (6) properties have developed trail systems and related infrastructure. These ten (11) properties are referred to collectively as Credit Valley Parks and Conservation Areas. The remaining properties are largely maintained in a naturalized state with limited public access. There are a number of land management issues that require constant and consistent attention for these lands. One conservation officer is specifically employed to coordinate enforcement activities on non-active park lands.

The CVC Enforcement Program uses a model of 'escalating level of response'. In practical terms this means the starting point for all infractions is to educate conservation area visitors of the rules and ask them to adhere. Subsequent or continued infractions may ultimately lead to charges being laid as required.

Project Justification:

Acquisitions of lands include the cost associated with responsible land stewardship and these differ from the normal enforcement responsibilities of providing recreational day use activities. These issues include a range of activities that are prohibited through Regulation 102 (R.R.O. 1990, REGULATION 102) under Section 29 of the Conservation Authorities Act (*Conservation Authorities Act, R.S.O. 1990, c. C.27*) and involve compliance and/or enforcement duties. They can include:

- Unsanctioned activities (unauthorized motorized vehicles, dogs off leash)
- Illegal uses (hunting, camping)
- Illegal dumping of materials (garbage, contaminates, fill)
- Creation of unsanctioned access points and unsanctioned trails
- Encroachments on CVCA lands (grass cutting, structures, buildings, gardens)

2021 Project Deliverables:

Enforcement Program deliverables include:

- Support Provincial Offences Officer (POO) (re)training needs and seek training opportunities with other CA's
- Establish guidelines for enhanced POO training
- Develop / refine an integrated work schedule for regular, scheduled patrols at all of our parks and conservation areas
- Continue implementation of a plan to review, acquire, install and manage video surveillance technology at our active conservation areas

CREDIT VALLEY CONSERVATION

- Support the hiring of CVC Security Officers to augment regular weekday / weekend daytime patrols by CVC staff

Impact if Project is Delayed:

CVC has invested a considerable amount of time, effort and resources to acquire key lands throughout the watershed. Failure to support the Enforcement program can result in:

- Environmental degradation due to illegal use (fire hazards; contamination; illegal dumping)
- Reduced visitor experiences (excessive noise; conflict of use; damage to property)
- Increased risk for personal injury
- Title integrity issues if known encroachments are left unaddressed
- Negative reputational impacts

2020 Request & Long-term Project Forecast:

Approved 2020	2021	2022	2023	2024
132,432	\$133,883	\$137,899	\$142,321	\$147,177

Signed off by:

Terri LeRoux
Sr. Manager, PARCS

Jeff Payne
Deputy CAO
Director of Corporate Services

Subject: COVID-19 community recognition award recipients

Department: Administration

Division: CAO

Report #: CAO-2020-002

Meeting Date: 2020-12-14

Recommendations

That report number CAO-2020-002, titled COVID-19 community recognition award recipients be received;

And that a donation in the amount of \$600 be given to the Orangeville Food Bank from the Community Grant Program on behalf of the award recipients.

Background and Analysis

Council brought a motion forward at the August 10, 2020 meeting requesting a recognition program for those deserving Orangeville residents, businesses and organizations for their outstanding efforts within the community during the COVID-19 pandemic. On September 28, 2020 report CAO-2020-012, titled COVID-19 community recognition awards were presented to Council with an outline of the award nomination process and in addition Council requested that in lieu of plaques, a donation be made to a local charity.

In October the COVID-19 community recognition nomination form was released on the Town's marketing platforms and the nomination form will remain open until the end of the pandemic. The below is a list of the successful award recipients received between October and November.

101.5 myFM Radio

The myFM radio station doubled all advertisers radio commercials at no charge during the months of April and May to assist local businesses and aired announcements for the Food Bank, Heart & Stroke, Public Health Unit, Dufferin Board of Trade, Orangeville Theatre and Canadian Blood Services at no charge.

Morning show times adjusted and focused on keeping locals educated about current events relevant to the pandemic and comprised shows with expert guests and businesses. The organization teamed up with local businesses for a “Thank you front line hospital workers” banner campaign and transitioned into safe live remote broadcasts for business grand openings.

Realizing the significant impact of the pandemic on the hunger situation within Orangeville, 101.5 myFM executed a multi-location back to school food drive in August that generated 7,800 lbs. of food and over \$2,000 for the local food bank.

Branching Out Support Service Participants

The participants who attend the Branching Out Support Services program are a motivated group who have diagnosed developmental differences and neurological exceptionalities. Those who attend the program are learning community engagement, volunteerism and how to give back to their community. During the pandemic the participants worked in small groups maintaining the food bank garden plots, cleaned up parks and green spaces and took on contactless volunteering projects for the Dufferin Overdose committee, the Halloween Fairy Initiative and organized their own contactless food drive collecting 136 lbs. of food. The group also created cards of encouragement for local downtown Orangeville shops to brighten their days during the pandemic. Special mentions to staff members Sara Clarke and Megan Williams who organize the amazing projects with community partners, all while keeping all the volunteers safe and healthy.

Cedar Heights Orangeville

The staff at Cedar Heights Youth Residence in Orangeville stepped up from the beginning of the COVID-19 pandemic with many of the staff having to work overtime hours. Staff provided and continue to provide 24-hour care to its residence. With the lockdowns and cancellation of activities, plus the transition to home schooling the staff made every effort to ensure their residents lives continue to remain enriched full of house-based activities.

Community Response Team

The Community Response Team is comprised of Dufferin Child and Family Services (DCAFS), Family Transition Place (FTP), Dufferin Area Family Health Team (DAFHT), Hospice Dufferin, Hospice Dufferin, Canadian Mental Health Association Peel Dufferin (CMHA) and Supportive Housing in the Province (SHIP). Each of the organizations have a role to play in delivering mental services to residents in Orangeville and Dufferin County. The organizations formed a joint team, the Community Response Team to meet the unique mental health needs and support required to a community amidst a pandemic. This Community Response Team provided numerous outcomes such as an

on-line front-line / essential staff portal, virtual forums for front-line/essential staff from all sectors, on-site mental health services, public messaging and communication on mental health services, hosted virtual community memorial services for those who had experienced loss, plus other initiatives to support the community during the COVID pandemic.

Curry Mantra Restaurant

Curry Mantra restaurant located at 520 Riddell Road was nominated by several customers. They have gone over and above to graciously help those in need during the pandemic. They have provided free hot courtesy meals daily to those in need with no questions asked, provided thanksgiving meals and even food supplies during shortages.

Heritage Dental

Heritage Dental offices located at 53 First Street were nominated by their patients who commended the dental office on taking extra measures during the pandemic. Interior office changes and patient booking and check in safety procedures have been implemented that are allowing patients to feel comfortable and safe during appointments.

Déjà vu Diner and Boxed Meats

Déjà vu Diner located at 318 Broadway was instrumental with ensuring that the community had access to essential items since the start of the pandemic. Déjà vu supplied the community with boxed meats, household items and personal protective equipment that was in short supply at affordable prices. Déjà vu Diner even had a deck built on the back of the building to serve the public during the pandemic and has now organized the inside of the restaurant to provide a proper distanced atmosphere for patrons.

Dufferin Autism Committee

The Dufferin Autism Committee members showed true acts of kindness by volunteering countless hours to their Facebook group, organizing events, offering advice, encouragement and help on all levels during these unique COVID times. The committee provides information of events, workshops and take-home kits through Autism Ontario and offer pickup across Ontario with contactless porch delivery. The committee has provided social distancing activities in the community in person and online, provide information to parents for Autism Speaks Canada, decorated yards for birthdays and anniversaries with drive by parades, and organized and raised \$15,000 for the Autism Speaks Canada Walk on Wheels Car Parade event. The committee members deal with their own challenges of having children living with ASD but still volunteer countless

hours to help others and did so even more to assist community family members during the pandemic.

Orangeville Caremongering

Melissa Cauley created a community group called Orangeville Caremongering to help others and support one another during the pandemic. She went out of her way to assist those in need and provided many acts of kindness to the community. During Christmas, Ms. Cauley brings Noelle the Elf to Orangeville from the North Pole to spread holiday cheer. She is always going out of her way to help others and does so with a smile.

Orangeville Minor Hockey

Through the initial stages of Orangeville Minor Hockey's return to play, there were many hurdles to clear in order to safely and sufficiently offer programming to the youth of the area. Seeking organized coaches is always a battle however Rob Deltin stepped up eagerly willing to help out and lead a group of young hockey players.

Rob truly went above and beyond the call of a Minor Hockey coach. In his spare time, Rob developed a screening program with 37 easy to use, mobile friendly forms for our 300+ members in the house league hockey program. He then organized a screening protocol for parents so that they can fill out the forms prior to getting to the rink, to make lives easier for all of our members, coaches and Orangeville Minor Hockey administrators. Rob is truly a fantastic example for all our members, young and old, to strive to do the best for the common good and operate in an altruistic manner, working to help others out within their community.

Pita Pit

The two Orangeville Pita Pit locations received several nominations. Both locations are family owned and are located at 40 Broadway and 520 Riddell Rd. The Pita Pit restaurants donated over 800 pitas to local front line essential workers at the hospitals, retirement homes, grocery stores, gas stations, etc. during the pandemic and the Horton family owners personally delivered them to all these front-line workers.

Marifa MacMullen

Since April, Marifa MacMullen has been offering three free live Zumba workouts every week from her basement which she has now converted into a studio. Marifa is always upbeat and smiling. She engages the participants and has been a leader by contributing to the Orangeville communities physical and mental health during the pandemic.

Simran Bhamu

Simran has been exceptionally helpful in supporting individual businesses and local not-for profit organizations during the pandemic by sharing advice on different marketing and fundraising strategies and has gone above and beyond by bringing the community together in raising money and donations for several initiatives such as for Big Brothers Big Sisters of Dufferin, organizing items for auction with over 25 local businesses, sponsorship for 198 free meals through Curry Mantra, organized giveaway items for the Celebrate your awesome event, and she also brings awareness and civil discussions on topics of diversity, inclusion and equality through her social media platforms. She is a shining example of kindness and generosity within the Orangeville community.

Sym Bookkeeping

Sym Bookkeeping located at 234 Broadway remained open for extended hours from the start of the pandemic in March to assist clients and businesses and to ensure clients received information on Canada Emergency Response Benefit (CERB) and to assist with business operation inquiries. Sym Bookkeeping have strived to stay on top of the news and changes and ensured all their clients were informed accordingly.

Teena Avery

Ms. Teena Avery has been volunteering her time producing programs at Rogers TV Dufferin-Caledon for over 5 years. Between April and July of 2020, Ms. Avery produced nineteen 1-hour COVID-19 local update information shows to keep the community informed with the current changes and welcomed many guests such as MP Kyle Seebach, MPP Sylvia Jones, Town of Orangeville Mayor Brown, plus other Councillors, medical professionals and emergency services staff. Teena organized and coordinated all the guests for the show and produced the shows from her home, as a volunteer. Teena enjoys giving back to the community that she loves by providing valuable information during the crisis.

Strategic Alignment**Orangeville Forward – Strategic Plan**

Priority Area: Community Stewardship

Objective: Encourage and strengthen participation in the community by people of all ages.

Sustainable Neighbourhood Action Plan

Theme: Social Well-Being

Strategy: Promote Orangeville as an engaged, inclusive community for all.

Notice Provisions

N/A

Financial Impact

A total amount of \$600 will be donated to the Orangeville Food Bank in the names of the COVID-19 community recognition award recipients from the Community Grant program.

As per the recommendation of Council to seek a donation to a location charity in lieu of a plaque. The total donation is based on the original estimates of \$40 per plaque per award winner.

Respectfully submitted

Prepared by

Ed Brennan
Chief Administrative Officer

Andrea Shaw
Executive Assistant

Attachment(s): 1. N/A

Subject: Land Purchase

Department: Community Services

Division: Economic Development and Culture

Report #: CMS-2020-014

Meeting Date: 2020-12-14

Recommendations

That the report CMS-EDC-2020-014, dated December 14, 2020 regarding Land Purchase be received;

And that Council pass a by-law to authorize the entering into and execution of an Agreement of Purchase and Sale with Metrolinx to acquire lands located at 30 Centennial Road, Orangeville, legally described as Part of Lot 23, RCP 335, Pt 1, 7R5642, subject to the following terms and conditions:

- purchase price of \$2,500,000.00;**
- all other terms and conditions contained within the Agreement of Purchase and Sale submitted by Metrolinx;**

And that upon execution of the Agreement by the Town, staff be directed to move forward with completion of a Phase II Environmental Assessment of the property.

Background and Analysis

For much of 2020, staff have been actively seeking and evaluating potential locations for the development of a new Fire Station of approximately 20,000 square feet. Among other requirements, the selected property must be in a central area, along roads that permit fire trucks to respond to emergencies quickly while also maintaining the level of service required for the municipality. The capacity to accommodate outdoor storage and training, a four-bay drive-through design, Emergency Operations Centre, administration, public access and parking, and future expansion are important considerations. A corner lot is considered ideal as is the ability to accommodate the station on one level.

Staff commenced interactions early in the year with Metrolinx, owners of the 6.18 acre lot at 30 Centennial Road. In June, Council directed staff to obtain a Phase 1 Environmental Assessment (EA) of the property along with an accredited Appraisal of Value with the longer-term intention of presenting a purchase offer to Council.

A Phase 1 EA completed in September 2020 indicated that a Phase II EA, at a cost of approximately \$35,000 would be required.

Concurrently and following Metrolinx protocols, both the Town and Metrolinx commissioned independent accredited appraisals of the property. Following considerable back and forth, this process resulted in Metrolinx advising that they would be willing to sell the entire parcel to the Town for \$2,500,000.00 (exclusive of HST). Furthermore, they indicated that they would prepare an Agreement of Purchase and Sale that included access to the property to complete a Phase II EA at the Town's expense, and that the cost of any identified and required remediation would be covered by Metrolinx and/or reduced from the selling price.

The Agreement of Purchase and Sale, has been reviewed and approved in consultation with the Town's solicitors and includes the following:

- Upon acceptance of the offer, the Town will provide a deposit of \$125,000.00 towards the total purchase price of \$2,500,000.00;
- A closing date of March 15, 2021;
- Upon execution of the agreement by the Town, the vendor will provide right of entry to the property and its agents, consultants and contractors for the purpose of completing a Phase II Environmental Site Assessment, with appropriate notice and proof of additional insurance provided;
- Conditions regarding the results of the Phase II EA and potential requirement for remediation, and specifically:
 - That, should remediation be required, the Town will oversee completion of and payment for, all required remediation and then be reimbursed for all associated expenses by Metrolinx, regardless of whether the remediation is completed before or following the closing date of March 15, 2021. The Town's total payment will not exceed \$2,500,000.00.

Metrolinx has advised that they would like a response from the Town as soon as possible and following the Council meeting of December 14, 2020.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Community Stewardship

Objective: Evaluate recommendations of the Fire Master Plan

Sustainable Neighbourhood Action Plan

Theme: Land use and planning

Strategy: Co-ordinate land use and infrastructure planning to promote safe communities

Notice Provisions

N/A

Financial Impact

Costs associated with the purchase of the property and the completion of a Phase II EA will be taken from the Fire Station Development Capital budget. Costs associated with any required remediation will be funded by the Fire Station Development Capital budget and reimbursed by Metrolinx under the terms of the agreement of purchase and sale.

Respectfully submitted

Raymond Osmond,
General Manager
Community Services

Prepared by

Ruth Phillips,
Manager, Economic Development
and Culture

Subject: Small Business Covid Recovery Network Project

Department: Community Services

Division: Economic Development

Report #: CMS-2020-010

Meeting Date: 2020-12-07

Recommendations

That report CMS-2020- be received;

And that a by-law be presented to Council authorizing the Mayor and Clerk to sign the Agreement between Her Business Advisory Centre Durham Inc. and the Corporation of the Town of Orangeville for the execution of the Conditional Flow Through Grant Agreement;

And that staff be directed to implement the Ontario Small Business COVID-19 Recovery Network Program.

Background and Analysis

The Orangeville & Area Small Business Enterprise Centre (SBEC) is part of a network of 46 SBEC offices in Ontario funded in part by the provincial government. In May 2020, the network collectively responded to the provincial government's call for proposals for the Ontario Together Fund. This fund supports Ontario's response to COVID-19 recovery and in September, the "Ontario Small Business COVID-19 Recovery Network" project was approved for delivery.

The "Ontario Small Business COVID-19 Recovery Network" is a \$2.04 million project that will provide funding to help small businesses in the wake of the economic fall out of COVID-19. This pan-Ontario project is funded by the province through an agreement with the Business Advisory Centre Durham (BACD), a registered non-profit organization based in Whitby, Ontario.

The BACD in turn, will enter into agreements with up to 46 Small Business Enterprise Centres and flow grant funding of \$32,000 to each SBEC, enabling them to hire business advisors to provide specialized assistance and education to local small

businesses. The project timeline is October 1, 2020 to September 30, 2021 and staff received the Conditional Flow Through Grant Agreement on November 12, 2020.

Orangeville & Area SBEC approach

The Orangeville & Area SBEC will administer the \$32,000 advisory funding and will engage private sector professionals to provide specialized workshops and to deliver enhanced, one-to-one confidential coaching services to assist business owners with the issues that they face. The office will work with a bank of specialized consultants who are available to provide advice and guidance on a range of topics including marketing, digitalization, sourcing new markets, bookkeeping, financial forecasting, and future planning. This enhanced, specialized service will be provided for free to local Orangeville and area business owners who are experiencing challenges created by the Covid-19 pandemic.

Confidential, specialized, one-to-one services will be provided by a variety of local business leaders and consultants on a contractual, hourly paid basis. Clients will be matched with a consultant based on the professional service they require. Hours of service provided will vary depending on client need and will be agreed upon, administered and approved by the Economic Development and Culture office. Throughout the duration of the program, access to GrowthWheel, a licensed software designed to support advisors/business clients with business planning will also be provided.

It is anticipated that delivery of 100 to 125 one-to-one consultations and ten to fifteen group training sessions will occur throughout the contract period and that the enhanced guidance provided to entrepreneurs will support the Town's business retention efforts, including enhanced business operations, improved profitability, capacity and competitiveness.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Economic Vitality

Objective: Foster entrepreneurship

Sustainable Neighbourhood Action Plan

Theme: Economic Development and Culture

Strategy: Enhance economic resiliency through attraction, expansion and retention of diverse business industries

Notice Provisions

N/A

Financial Impact

Funding to deliver the Ontario Small Business COVID-19 Recovery program is provided entirely by the Ontario Together Fund. Administration of the program will be completed by the Economic Development and Culture Office.

Respectfully submitted

Ray Osmond,
General Manager,
Community Services

Reviewed and edited by

Ruth Phillips,
Manager, Economic Development &
Culture

Prepared by

Ellen Sinclair,
SBEC Co-ordinator

Attachment(s): 1. **Conditional Flow Through Grant Agreement**

Attachment 1 – CMS-2020-010

CONDITIONAL FLOW THROUGH GRANT AGREEMENT – SBEC
THIS AGREEMENT (referred to as the “SBEC Agreement”) is effective November 11, 2020

BETWEEN:

BUSINESS ADVISORY CENTRE DURHAM INC. with offices at 3000 Garden Street,
Suite 200, Whitby, Ontario, L1R 2G6
(hereinafter referred to as the “BACD”)

AND

[The Orangeville & Area Small Business Enterprise Centre, The Corporation of the Town of Orangeville] with offices at [87 Broadway, Orangeville ON L9W 1K1]
(hereinafter referred to as “Recipient” and “Recipient Offices” respectively)
(BACD and Recipient individually a Party or collectively the Parties)

RECITALS:

1. HER MAJESTY THE QUEEN IN RIGHT OF ONTARIO as represented by the Minister of Economic Development, Job Creation and Trade (referred to as “Ontario”) has established the Ontario Together Fund (“OTF”) to support Ontario’s response to the COVID-19 pandemic.
2. Ontario has agreed to provide conditional funding to the BACD from the OTF through a Conditional Grant Agreement dated October 2, 2020 (the “Ontario Agreement”) so that BACD may provide the regional Ontario SBECs with monies or services so they are able to assist small businesses in responding to the COVID-19 pandemic for a limited term (until September 30, 2021).
3. Ontario requires that these flow through grants from BACD to the SBECs be set out in a SBEC Agreement.
4. BACD is flowing through a portion of the grant monies received from Ontario conditionally to the Recipient (the “Grant”) and Recipient is agreeing to only utilize those funds (or receive seconded personnel in lieu of the actual Grant monies) in strict accordance with provisions of this Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual promises and covenants contained in this Agreement, and other good and valuable consideration BACD and the Recipient agree as follows:

Article 1 - COOPERATION AND CONTACT AND TERM

- 1.1 Contact Person. Each party shall specify to the other an authorized contact person who is responsible for the administration of the provisions of this Agreement.
- 1.2 Term. This SBEC Agreement is effective from the date of signing of until September 30, 2021 (the “Term”) unless terminated earlier in accordance with the provisions of this SBEC Agreement or renewed by written agreement between the Parties which may include an exchange of emails addressing the issue.
- 1.3 Cooperation. The parties will cooperate in good faith to administer and carry out their respective rights and obligations under this SBEC Agreement.

Article 2 - CONFIDENTIALITY AND DATA PROTECTION

- 2.1 Confidentiality. A Party may disclose Confidential Information to other Party to facilitate work under this Agreement. Each Party agrees that such information will be safeguarded and only disclosed to persons with a need to know it within the receiving Party. All Parties will take such steps as a reasonably prudent commercial enterprise would take to protect such information from disclosure to third parties not bound by relevant nondisclosure agreements. The obligation to keep Confidential Information confidential will not apply to information which: a) is already known at the time of disclosure to the Party to whom it is disclosed and that Party can prove by written records that it is already known; b) is or becomes part of public domain without material breach of this Agreement by the Party seeking to rely on this exclusion ;c) is obtained from third parties which impose no related confidentiality obligations on the disclosing Party; d) is authorized for release by the disclosing Party; or e) is required to be disclosed by law or order of a court, governmental tribunal or governmental agency , but the Party subject to such requirement will promptly notify the disclosing Party and give the disclosing Party a reasonable opportunity to seek a confidentiality order or the like. These obligations of confidentiality and non-disclosure shall apply upon execution of this Agreement and continue for as long as confidential information remains confidential. Confidential Information includes “Confidential Information” means information belonging to BACD or the Recipient which is of value to such party and the disclosure of which could result in a competitive or other disadvantage to either party, including, without limitation, financial information, business practices and policies, know-how, trade secrets, market or sales information or plans, customer lists, business plans, employee and contractors, and all provisions of this SBEC Agreement.
- 2.2 Data Protection. Each Party shall handle and safeguard all personal data received from the other Party, including in connection with the utilization of any service providers, employees, contractors and subcontractors, in accordance with applicable Privacy Laws and the policies of BACD and of the Recipient, respectively. “Privacy Laws” means all national, federal, provincial, state, municipal or other applicable statutes, laws or regulations of any applicable jurisdiction governing the handling and/or processing of personal data or information about an identifiable individual.

ARTICLE 3 - CONDITIONAL FLOW THROUGH GRANT

- 3.1 Grant. Subject to and in accordance with the terms and conditions of this SBEC Agreement, anin reliance on the representations and warranties of Recipient set out in Article 7, BACD agrees to i) either provide the Grant to the Recipient to assist the Recipient to engage personnel for the Purpose (see 3.2 definition) by way of a cash transfer less any initial Holdback or ii) in lieu of payment of the Grant, engage service provider personnel on behalf of the Recipient (by further agreement of the parties with respect to secondment terms as set out in Schedule “A” attached), or iii) by reimbursement of payroll expenses of Recipient used for the Purpose.

Recipient elects for (one or the three options - insert X in relevant checkbox):

- ☐ the Grant by way of transfer from BACD (money transfer).
- ☐ BACD to pay for service provider personnel for the Recipient by way of secondment using The Grant and its discretion any Holdback. (Recipient never actually receives the Grant monies just the services of service provider personnel - secondment).
- ☐ BACD to pay for service provider personnel for the Recipient by way of reimbursement of payroll expenses in arrears monthly after receipt of payroll documentation and Recipient request for disbursement.

In the case of election to receive the Grant by way of money, the Recipient’s bank account must reside in a Canadian financial institution and be in the name of the Recipient.

The Grant amount for Recipient under this Agreement, the total including the Holdback in the amount of [\$3,200.00] is [\$32,000.00]. The “Holdback” is the amount that BACD may withhold from the first disbursement and in its sole discretion, include in the second disbursement - set at 10% or such other percentage as BACD may in its sole discretion, determine.

If the Recipient elects for BACD to provide service provider personnel, then Schedule “A” Secondment of Personnel Provisions attached also applies to this SBEC Agreement.

If Recipient elects for money transfer of the Grant, it will provide BACD with wire transfer instructions on signing of this SBEC Agreement otherwise payment will be by cheque.

- 3.2 Use of Funds. All Grant funds, including any interest earned on such funds, shall be used by the Recipient or by BACD on behalf of Recipient in the case where the Recipient has elected for the provision of service provider personnel by BACD, **solely** to enable the engagement of a service advisor(s) who will provide support and provide advice to small businesses virtually or in person on dealing with the impacts of COVID-19 (the “Purpose”) **AND FOR NO OTHER PURPOSES**.

Recipient shall ensure that in the engagement of any Non-Arm's length service providers using the Grant monies, that the engagement will be on terms that are fair and reasonable to the Recipient and that are no less favorable to the Recipient than those that could be obtained in a comparable transaction from an Arm's Length service provider. "Arm's Length" has the meaning as set out in the Income Tax Act (Canada) and "Non-Arm's Length" shall have the opposite meaning for the purposes of this SBEC Agreement.

ARTICLE 4 - REPAYMENT OF GRANT PROCEEDS IN CERTAIN CIRCUMSTANCES

- 4.1** Repayment of disbursed Grant Proceeds. BACD may require the Recipient to repay some or all of the disbursed Grant (including any Holdback paid out) proceeds a) in the event of early termination under 10.3, to the extent such Event of Default resulted from Grant funds being utilized by Recipient in violation of this SBEC Agreement, b) in the event of a material breach of this SBEC Agreement by the Recipient which has not been or is incapable of being remedied, c) in the event the Ontario Agreement between Her Majesty and BACD (which provides for the source of the funding monies for the Grant under this SBEC) is terminated and some or all of the grant monies BACD received under the Ontario Agreement have to be repaid by BACD, clause in the Ontario Agreement and some or all of the grant monies BACD received under the Ontario Agreement have to be repaid by BACD.
- 4.2** To the extent that the BACD exercises this option for repayment, BACD shall provide written notice to the Recipient stating the amount to be repaid, applicable interest calculated not to exceed five percent (5%) annually, and the schedule for such repayment. The Recipient may request that the BACD waive the interest, subject in all cases to BACD's sole discretion. In no event shall the Recipient retain Grant funds that have not been used by the Recipient for purposes for which the Grant was intended.

ARTICLE 5 - TERMS AND CONDITIONS OF DISBURSEMENT OF FLOW THROUGH GRANT

- 5.1** Disbursement of Grant. Subject to the provisions of the Agreement, the Grant is to be paid to the Recipient after execution of this SBEC Agreement by both parties and receipt by BACD of the items listed in section 5.2, less the Holdback total which shall be released upon satisfaction of the conditions contained in section 5.3 (and provided the holdback funds are received by BACD from Ontario under the Ontario Agreement) in BACD's sole discretion.
- 5.2** Disbursement Conditions. The following conditions precedent must be completed to the satisfaction of BACD prior to the disbursement of any amount of the Grant (with the release of the Holdback being subject to the additional requirements contained in section 5.3 below):
- (a) Initial Funding Received from Ontario by BACD. BACD shall have received all of the grant monies from Ontario pursuant to the Ontario Agreement less any initial holdback.
 - (b) Agreement Compliance. The Recipient shall provide confirmation in writing in a form satisfactory to BACD that is signed by a senior officer of the Recipient that such senior

office shall ensure compliance of the Recipient with respect to the use of the Grant for the “Purpose” and to all reporting requirements under this SBEC Agreement.

- (c) Disbursement Request. The Recipient shall have provided a Disbursement Request in the form set out as a Schedule “B” to this SBEC Agreement together with any relevant documentation.
- (d) GrowthWheel License. The Recipient shall be the licensee of the online advisor software known as GrowthWheel during the Term of this Agreement, for which BACD will cover the expense and facilitate signup.

5.3 Condition to Release of Holdback. BACD may, in its sole discretion, disburse to the Recipient an amount up to the Holdback upon the Recipient’s completion of the conditions precedent set out below to the satisfaction of BACD:

- (a) The Recipient shall provide BACD with a Request for Disbursement certifying, that to the date of such request, i) the Grant has been used solely for the Purpose; and ii) the Recipient has a valid license to use Growth Wheel on behalf of its business available for the Term and is using such software; and
- (b) If the Recipient submits a Request for Disbursement and has incurred and paid to Non-Arm’s Length service providers, the Recipient shall provide evidence that the payments were terms that are fair and reasonable to the Recipient and that are no less favorable to the Recipient than those that could be obtained in a comparable transaction from an Arm’s Length service provider.
- (c) If applicable, the Recipient shall provide BACD with invoices from relevant service providers and proof of payment of same by way of payroll data (and copies of engagement contracts if requested) in the case where the Recipient has elected for reimbursement of expenses paid directly by Recipient to service provider personnel.
- (d) The Recipient shall have dutifully provided BACD with the monthly reports and other items required under Article 6.

5.4 Conditions to the Grant.

- (a) BACD has received funds from Ontario (less any holdback) under the Ontario Agreement. If BACD does not receive the necessary grant or subsequent holdback from Ontario, BACD shall not be obligated to make any such payment.
- (b) The total Grant received by the Recipient cannot exceed the amount of 32,000 Cdn. Which is the maximum amount of the Grant inclusive of any HST that may be payable (Recipient to advise if HST is payable).
- (c) Without restricting the applicability of other remedies or provisions of this Agreement, BACD shall be entitled, in its sole and unfettered discretion, to refuse to make any Disbursements or any further Disbursements, if:

Business Advisory Centre Durham Inc.
3000 Garden St, S200, Whitby L1R2G6
Tel: (905).668.4949
clientservices@bacd.ca www.bacd.ca

- (i) an Event of Default (Article 10) has occurred and is continuing.
- (ii) the occurrence of an Event of Default reasonably appears to be imminent; or
- (iii) the Disbursement will result in the occurrence of an Event of Default.

ARTICLE 6 - MONTHLY REPORTING AND MONITORING

6.1 Report on use of Grant. The Recipient shall provide BACD with a Grant Report each month on the 10th day of each new calendar month for the previous calendar month. The Grant Report shall provide information with respect to the engagement of service provider personnel (name, contact information, nature of engagement, terms of engagement), number of Businesses served, number of advisory hours, jobs retained and other information shall be in the form of the attached Schedule “C” attached (with timelines) and such other information as may be reasonably requested by the BACD.

6.2 Review and Audit.

- (a) The Recipient shall permit persons designated by BACD or Ontario as the case may be, to visit and inspect the Recipient Office at BACD or Ontario’s expense, to examine and copy the Recipient’s books and financial records, and to discuss its affairs, finances and accounts as they relate to the use of Grant proceeds all at such reasonable times as may be requested by BACD or Ontario. BACD and Ontario’s right of inspection includes the right to perform a full or partial audit at any time for purposes including confirming that Grant was used solely for Purpose and in accordance with the provisions of this Agreement; and
- (b) Without limiting the generality of the foregoing, the Recipient shall at BACD’s request meet with BACD or its duly authorized agent at least annually to review the Recipient’s compliance with the terms and conditions of the Agreement. As may be requested by BACD, invoices from service providers, contact information for service providers, evidence of arm’s length relationships and proof of engagement (copy of contracts), proof of payment to service provider personnel shall also be required.

ARTICLE 7 - REPRESENTATIONS AND WARRANTIES

7.1 Representations and Warranties. The Recipient represents and warrants to and in favor of BACD that:

- (a) The Recipient is a corporation incorporated under the laws of the Province of Ontario and has the corporate power and authority to carry on its business as presently carried on, to hold property, and to enter into the Agreement. The execution, delivery and performance of the Agreement have been or will be duly and validly authorized by all necessary corporate action of the Recipient, and when executed and delivered will

constitute legal, valid and binding obligations of the Recipient enforceable in accordance with its respective terms.

- (b) The Recipient has established and shall maintain administrative practices and governance procedures to provide for the prudent and effective management of the flow through Grant in accordance with the terms of this Agreement to affect the Purpose.
- (c) The proceeds of the Grant will be used by the Recipient exclusively for the Purpose and for no other purpose.
- (d) There are no charges or criminal convictions under the *Criminal Code* (Canada) outstanding against the Recipient.
- (e) There are no actions, suits or proceedings pending or, to the knowledge of Recipient, threatened, which would reasonably be expected to affect the ability of the Recipient to perform its obligations under the Agreement.
- (f) There is no fact which the Recipient has not disclosed in writing to BACD which adversely affects or, so far as the Recipient can now reasonably foresee, will adversely affect the ability of the Recipient to perform its obligations under the Agreement, in any material respect.
- (g) No Event of Default has occurred and is continuing, nor has any event occurred which with the giving of notice, the passage of time, or both, will result in an Event of Default.

ARTICLE 8 - AFFIRMATIVE COVENANTS

- 8.1** Use of Proceeds. The Recipient will use the Grant solely for the Purpose.
- 8.2** Rights of Inspection and Inquiry. The Recipient shall keep and maintain all records, invoices and other documents relating to the Grant and the use of such proceeds in a manner consistent with GAAP, and keep them available for review by BACD and Ontario and its agents or authorized representatives, including the Auditor General of Ontario, during the Term and for a period of seven years thereafter.
- 8.3** Licensing of GrowthWheel. The Recipient shall obtain and maintain a license for GrowthWheel for its service provider personnel throughout the Term of this SBEC Agreement. (BACD to facilitate and pay for such costs of licensing.)
- 8.4** Compliance with Agreements. The Recipient will perform and satisfy all covenants and obligations to be performed by it under this SBEC Agreement.
- 8.5** Existence. The Recipient will preserve and maintain its existence, rights, powers, licenses, privileges, and goodwill, and exercise any rights of renewal or extensions of any leases,

licenses, or any other rights which are necessary or material to the conduct of its business at the Recipient Offices.

8.6 Compliance with Laws. The Recipient shall comply with all laws which could affect Recipient's obligations under the Agreement.

8.7 Indemnity. The Recipient shall indemnify and hold harmless the Indemnified Parties from and against any and all liability, loss, costs, damages and expenses (including without limitation, legal, expert and consultant fees and disbursements), causes of action, actions, claims, demands, lawsuits or other proceedings, by whomever made, sustained, incurred, brought or prosecuted, in any way arising out of or in connection with the Grant or otherwise in connection with the SBEC Agreement, unless solely caused by the gross negligence or willful misconduct of the Indemnified Parties.

"Indemnified Parties" means Her Majesty the Queen in right of Ontario, Her Ministers, agents, appointees and the Business Advisory Centre Durham, and its employees, directors, officers and independent contractors.

8.8 Notice to BACD. The Recipient shall provide prompt notice of any representation or warranty made by the Recipient in the Agreement or any certificate delivered to BACD pursuant that has become or is likely to become untrue in any respect.

8.9 Procurement. The Recipient shall ensure that all contracts and subcontracts, including consultant and service provider personnel contracts, for work and services and for the purchase of services related to the Grant are obtained pursuant to a process that ensures best value or money, and comply with the *Broader Public Sector Accountability Act, 2010* (Ontario), including any procurement directive issued thereunder, to the extent applicable.

8.10 Reports. The Recipient shall ensure that all reports, certificates and other documents required to be delivered to BACD pursuant to the Agreement are completed to the satisfaction of BACD.

ARTICLE 9 - LIMITATION OF LIABILITY AND INDEMNITIES:

9.1 Limitation of Liability Notwithstanding any other terms, BACD shall not be liable to SBEC for any Losses (defined below) arising out of or connected with any use of or reliance upon the services provided by the Seconded Advisor(s) to SBEC or on behalf of SBEC to a third party in connection with the secondment, or any deficiency in any services (including a failure to provide such services) provided by the Seconded Advisor(s) to SBEC or on behalf of SBEC to a third party in connection with the secondment; and BACD shall have no liability whatsoever to SBEC for any breach of any provision of this Agreement. For the avoidance of doubt and not so as to limit the operation of this paragraph, nothing herein shall be construed to create any employer liability or vicarious liability on behalf of BACD for the provision of the Seconded Advisor(s) to the Recipient.

9.2 Indemnification. SBEC shall indemnify and hold harmless BACD and its directors, officers, employees and contractors from and against any cost, expense, damage or liability (collectively, “Losses”) arising out of or in connection with (i) claims against the BACD by any Seconded Advisors (see Schedule “A” definition) that accrued during the term of this Agreement, (ii) claims by any third party in connection with the services provided by any Seconded Advisors during the term of this Agreement, or (iii) any Seconded Advisor’s alleged acts or omissions with respect to activities performed for SBEC or its affiliate entities under this Agreement during such Seconded Advisors period of secondment with Recipient.

In addition, SBEC shall indemnify and hold harmless BACD and its directors, officer, employees and contractors from and again any cost, expense, damage or liability (the Losses) arising out of in connection with claims against the BACD in relation to a breach of this SBEC Agreement by SBEC.

ARTICLE 10 - DEFAULT AND ENFORCEMENT

10.1 Events of Default. Each of the following is an Event of Default:

- (a) failure by the Recipient to perform or comply with any covenant or other term of the Agreement required to be performed or complied with by the Recipient, including;
- (b) failure by the Recipient to repay any amount of the Grant within ten days after a request for repayment is made by BACD pursuant to Articles 4;
- (c) failure by the Recipient to make a Request for Disbursement in accordance with this Agreement.
- (d) if any representation or warranty made by the Recipient in the Agreement or any certificate delivered to BACD shall be or become materially untrue in any respect.
- (e) if the Recipient (i) is dissolved, liquidated or wound up or makes a proposal in writing to be dissolved; (ii) admits in writing its inability generally to pay its debts as they become due; (iii) makes a general assignment, arrangement or composition with or for the benefit of its creditors; (iv) institutes a proceeding seeking a judgment of bankruptcy or a receiving order or an order adjudicating or declaring it to be bankrupt or insolvent or seeking liquidation, winding-up, reorganization, arrangement, adjustment, protection, relief or composition of it or its debt under any law including the *Companies’ Creditors Arrangement Act* (Canada) or the *Bankruptcy and Insolvency Act* (Canada); (v) has a resolution passed for its winding-up, official management or liquidation; (vi) seeks or becomes subject to the appointment of an administrator, liquidator, receiver, receiver-manager, trustee or similar official for it or for all or substantially all its assets; (vii) has a secured party take possession of a substantial or material portion of its assets or has a distress, execution, attachment, sequestration or other legal process levied or enforced on or against a substantial or material part of its assets; (viii) ceases to carry on business; or (ix) takes any action in furtherance of, or indicating its consent to, approval of, or acquiescence in, any of the foregoing acts or events;

- (f) if any bankruptcy, reorganization, arrangement or insolvency proceedings for relief under any bankruptcy or similar laws for the relief of debtors, including, without limitation, any of the proceedings or petitions described in subparagraph (e) above are instituted against the Recipient and are consented to by the Recipient or, if contested by the Recipient, are not dismissed within 30 days;
- (g) default of any material obligations of the Recipient under the Agreement including a default of a term or condition, but for the giving of notice and/or the passage of time to remedy;
- (h) final judgment or decree for the payment of money due is obtained or entered against the Recipient, except in respect of a judgment which (i) was the subject of a *bona fide* dispute, (ii) is not material to the financial condition, business or operations of the Recipient (and without restricting the generality of the foregoing, a judgment of \$50,000 or more shall be deemed to be material), and (iii) is paid in full within 30 days after judgment;

10.2 BACD May Waive. BACD may, at any time, waive any Event of Default which may have occurred provided that no such waiver shall extend to, or be taken in any manner whatsoever to affect, any subsequent Event of Default or the right to remedies resulting therefrom, and that no such waiver shall be, or shall be deemed to constitute, a waiver of such Event of Default unless such waiver is explicit and in writing from BACD.

10.3 Remedies. In addition to any other rights which BACD may have under the Agreement, if any Event of Default shall occur and be continuing, BACD shall have the following rights and remedies provided that it has first given written notice of the Event of Default to the Recipient and the Recipient has failed for whatever reason, subject to Force Majeure, to remedy the Event of Default within 20 days of the receipt of such notice, or such longer period of time as BACD may consent to in writing:

- (a) BACD may, immediately, without further notice to the Recipient, without liability, penalty or costs to BACD, terminate the SBEC Agreement;
- (b) BACD shall be relieved of all obligations to make any Disbursements or any further Disbursements to the Recipient;
- (c) BACD shall be entitled to retain the Holdback;
- (d) BACD may avail itself of any of its legal remedies that are available to BACD at law or in equity and in its sole discretion, exercise any right or recourse and/or proceed by any action, suit, remedy, or proceeding against the Recipient authorized or permitted by law for the recovery of any and all amounts payable to BACD pursuant to the Agreement, and no such remedy for the enforcement of the rights of BACD shall be exclusive of, or dependent on, any other remedy, but any one or more of such remedies may from time to time be exercised independently or in combination, provided however, that subject to section 8.9, in no event shall the Recipient be required to pay to BACD any amount in excess

of the Grant actually received by Recipient together with the costs of collection pursuant to section 10.4 and interest pursuant to section 10.5.

Notwithstanding the foregoing, BACD shall not be required to provide any notice or a remedy period under this section 10.3 for any Event of Default arising under section 10.1 (b), (d), (e) or (f).

- 10.4** Costs of Collection. All reasonable costs and expenses of collection, including legal fees and professional fees associated therewith, of BACD and its agents of all amounts owing hereunder shall be for the account of the Recipient and shall be immediately due and payable to BACD.
- 10.5** Interest after Default. Interest at the then current rate, charged by the Province of BACD on accounts receivable shall apply, from the date of any default notice to the Recipient, to any and all amounts in the event that BACD exercises any of its remedies pursuant to this Article 10 until repayment in full. For greater certainty, during the course of any and all proceedings to collect such amounts such interest rate shall apply to and be eligible as additional damages in any award of damages made by a court of competent jurisdiction pursuant to any such action, all without the necessity of any further act or agreement or notification to the Recipient.

ARTICLE 11 GENERAL

- 11.1** No Conflict of Interest. The Recipient use of the Grant funds shall be without an actual, potential, or perceived conflict of interest. A conflict of interest includes any circumstances where: (a) the Recipient or (b) any Person who has the capacity to influence the Recipient's decisions, has outside commitments, relationships, or financial interests that could, or could be seen to, interfere with the Recipient's objective, unbiased, and impartial judgment relating to use of the proceeds of the Grant. The Recipient will disclose to BACD, without delay (at the latest in the monthly Grant Report), any situation that a reasonable person would interpret as an actual, potential, or perceived conflict of interest and comply with any terms and conditions that BACD may prescribe as a result of the disclosure.
- 11.2** Entire Agreement. The Agreement contains the entire agreement between the Recipient and BACD and supersedes all prior agreements, obligations, statements, representations, understandings, warranties, communications and negotiations, whether oral or written, with respect to the subject matter of the Agreement.
- 11.3** Amendments. The Agreement may be amended, altered or modified only by written documents signed by both BACD and the Recipient.
- 11.4** Survival. Article 1.3 (Cooperation), Article 2 (Confidentiality and Data Protection) Article 4 (Repayment of Grant), sections 5.1, 5.2, and 5.3, section 5.4 (c), Article 6 (Reporting and Monitoring), Article 7 (Representations and Warranties), section 8.2 (Rights of Inspection and Inquiry), section 8.9 (Indemnity), section 8.10 (Reports), Article 10 (Default and Enforcement), section 11.2 (Entire Agreement), section 11.4 (Survival),

section 11.6 (Materiality and Merger), section 11.11 (Non-Agent), section 11.12 (Governing Law), section 11.15 (Severability), section 11.17 (Disclosure of the Agreement to the Public and Third Parties), and section 11.20 (Rights and Remedies Cumulative) and all applicable cross-referenced provisions and Schedules shall survive any expiry, termination or cancellation of the Agreement. Without limiting the foregoing, all representations and warranties of the Recipient contained herein or in any certificate or other writing delivered in connection herewith will survive the transactions contemplated hereby and are material and have been or will be relied upon by BACD notwithstanding any investigation made by or on behalf of BACD. For the purpose of the foregoing, all statements contained in any certificate or other writing delivered by or on behalf of the Recipient in connection with the transactions contemplated hereby shall be deemed to be representations and warranties of the Recipient.

- 11.5 Waiver.** No provision of the Agreement shall be deemed to be waived, and no breach excused, unless such waiver or consent excusing the breach is explicit and in writing. A waiver of any provision of the Agreement, or of any breach of any provision of the Agreement, is not to be deemed or construed to be a waiver of any other provision of the Agreement, or of any other breach, whether of the same or of any other provision, Nor shall any delay or omission on the part of any party to the Agreement to exercise or avail itself of any right it has or may have under the Agreement, operate as a waiver of any such breach or right, nor will any waiver or failure to enforce any of the provisions of the Agreement in any way affect the validity of the Agreement or any part of it.
- 11.6 Materiality and Merger.** All representations, warranties and covenants of the Recipient made in the Agreement or in any other document, certificate, expenditure statement, or writing delivered by or on behalf of the Recipient pursuant to the provisions of the Agreement, or otherwise with respect to the Project or the Agreement and the transactions contemplated in the Agreement, are material, are deemed to have been relied upon by BACD and survive the execution of the Agreement.
- 11.7 Time.** Time is of the essence of the Agreement.
- 11.8 Assignment.** The Agreement and all documents delivered pursuant to it inure to the benefit of BACD and the Recipient, their respective assigns and successors at law. The Agreement may not be assigned by the Recipient.
- 11.9 Further Assurances.** The Recipient agrees at any time and from time to time after the execution and delivery of the Agreement to perform and deliver such further acts and things as BACD may reasonably request in order to fully effect the purpose of the Agreement and the transactions contemplated.
- 11.10 Notices.** Any notice, request, demand, consent, approval, correspondence, report or other communication required pursuant to or permitted under the Agreement must be in writing and must be given by personal delivery, or transmitted by email, or be sent

by postage prepaid mail, and addressed to the party to whom it is intended at its address as set out below or addressed as either party may later designate to the other in writing:

To BACD:

Business Advisory Centre Durham Inc.
3000 Garden Street - Suite 200 Whitby,
ON L1R 2G6
Attention: Executive Director
Email: tshaver@bacd.ca

To the Recipient:

The Orangeville & Area Small Business Enterprise Centre
The Corporation of the Town of Orangeville
87 Broadway, Orangeville ON L9W 1K1
Attention: Ruth Phillips, Manager, Economic Development & Culture/SBEC
rphillips@orangeville.ca

Any such notice shall be deemed to be received, if personally delivered or sent by fax or other electronic message on the day it is sent and if such notice is sent by postage prepaid mail it shall be deemed to have been received on the date that is five days after the date of mailing.

- 11.11 Non-Agent.** The Recipient and BACD agree and declare that nothing in the Agreement shall be construed as creating a partnership, joint venture, or agency relationship between the Recipient and BACD.
- 11.12 Governing Law.** The Agreement and the rights of the parties shall be governed in all respects by and construed in accordance with the laws of the Province of BACD and the laws of Canada applicable and each party irrevocably attorns to the exclusive jurisdiction of the courts of the Province of BACD for any dispute, action or proceeding arising out of or in connection with the Agreement.
- 11.13 Force Majeure.** In the Agreement, “Force Majeure” includes civil commotions, acts of God, weather, fires, floods, explosions, natural catastrophes, pandemics, sabotages, accidents, failures of power, riots, invasion, insurrection and any additional peril or occurrence which is, in the opinion of BACD a Force Majeure. Upon the occurrence, if any, of an event which is a Force Majeure, the party whose performance is affected, whether BACD or the Recipient, shall to the extent reasonably possible, minimize its adverse impact. Neither BACD nor the Recipient shall be in breach of the Agreement, if, upon the occurrence of a Force Majeure and after delay minimization, either BACD or the Recipient delays performance of its obligations hereunder for such reasonable period of time so as to enable the harmed party to overcome the effects of the Force Majeure.

11.14 Counterparts. The Agreement may be signed in counterparts, and/or by facsimile or e-mail (PDF or other image format), each of which shall constitute an original and all of which, when taken together, shall constitute an original Agreement.

11.15 Severability. Any provision of the Agreement prohibited by law or otherwise ineffective will be ineffective only to the extent of such prohibition or ineffectiveness and will be severable without invalidating or otherwise affecting the remaining provisions of the Agreement.

11.17 Disclosure of the Agreement to the Public and Third Parties.

(a) *Freedom of Information and Protection of Privacy Act*.

The Recipient acknowledges that BACD and Ontario is bound by the *Freedom of Information and Protection of Privacy Act* (BACD) and that BACD or Ontario may be required to disclose information contained in the Agreement or the entire Agreement itself pursuant to the provisions of that act.

(b) *Public Disclosure*. The Recipient irrevocably consents to BACD or Ontario making all or a portion of the Agreement available to the public in a form BACD or Ontario deems appropriate in BACD's sole discretion.

11.18 Publications, Press Releases, Media Events, Communiqués. The Recipient shall:

(a) not make any announcement with respect to the Grant or the Agreement, except as may be required by law, without the prior written approval of BACD; and

(b) if requested by BACD, participate in a public event announcing Ontario and BACD's funding to the Recipient as may be agreed between the parties.

Ontario and BACD may make such announcements with respect to the Grant and this Agreement as they shall see fit in their sole discretion

11.19 Economic Program. The Recipient acknowledges and agrees that the Grant provided under the Agreement is for the purpose of the administration of economic programs and/or the provision of direct or indirect support to members of the public in connection with economic policy, and as such section 16 of the *Limitations Act, 2002* (BACD) shall apply.

11.20 Third Party Beneficiary. The Parties acknowledge that Ontario (Her Majesty the Queen in Right of Ontario) is a third party beneficiary of this Agreement and that Ontario shall have the full right to sue upon and enforce this SBEC Agreement in accordance with its terms as if it were a signatory hereto.

11.21 Rights and Remedies Cumulative. The rights and remedies of BACD under the Agreement are cumulative and are in addition to, and not in substitution for, any of its rights and remedies provided by law or in equity.

The parties hereby execute the Agreement in the Province of Ontario.

[The Corporation of the Town of Orangeville]

Date of Signature

Per: _____
Name:
Title:

I have the authority to bind the Recipient:

BUSINESS ADVISORY CENTRE DURHAM INC.

Date of Signature

Per: _____
Name:
Title:

I have the authority to bind the BACD:

Schedule “A” Secondment of Personnel Provisions

SCHEDULE “A” SECONDMENT OF PERSONNEL PROVISIONS

Grant Recipient	[Name of SBEC]
Recipient Offices	As per Notice Section.
Effective Date of Agreement	Date of Signing
Seconded Individual(s) Name(s) and Positions (Advisors)	[Insert name of relevant individuals]
Latest Completion Date	September 30, 2021
Maximum Amount of Grant	\$32,000.00 (including any relevant HST paid to Seconded Advisor)
Rate of Pay for Seconded Individual(s)	[insert pay rate Per hour for each Seconded Individual]

1. The parties must agree on the engagement of a particular service provider personnel (the “Seconded Advisor”) by BACD for SBEC and the rates and length of term in service may be limited by the amount of the Grant. (i.e. services may not be provided for the full Term).
2. BACD has the option of engaging the Seconded Advisor through an independent contractor agreement or individual employment agreement, at its option and in its sole discretion.
3. the Seconded Advisor shall be assigned by BACD to perform work for the Recipient, it being understood that the BACD shall procure any necessary consent or approval from Seconded Advisor before any such assignment.
4. Subject to the terms of any agreements between the BACD and the Seconded Advisor, it is understood that the Seconded Advisor will perform such services and have the duties and

responsibilities as SBEC shall reasonably request and in a manner consistent with the policies and standards of BACD, and to the extent applicable, SBEC.

5. Each Seconded Advisor shall devote all of his or her business time to the business of the Recipient. Seconded Advisors shall be instructed by BACD to comply with the instructions and directions of the governance bodies and management of the Recipient. In respect of such Recipient duties, no Seconded Advisor shall be represented as or allowed to represent himself or herself as an employee or contractor of BACD. Seconded Advisors will, in respect of their activities for or on behalf of SBEC, only hold themselves out in their respective Recipient capacities.
6. it is understood that the Seconded Advisors will perform such services and have the duties and responsibilities as the Recipient shall reasonably request and in a manner consistent with the policies and standards of the Recipient.
7. The service by Seconded Advisors as officers, authorized signatories, nominees, independent contractors, or in other similar individual capacities in the business of Recipient shall not give, or be deemed to give, BACD any responsibility or authority to supervise or control any Seconded Advisor and nothing shall make, or be deemed to make, BACD liable for the acts or omissions of any Seconded Advisor with respect to the activities to be performed for or on behalf of the Recipient. (No responsibility for vicarious liability).
8. The costs of replacing a Seconded Advisor at the request of the Recipient is be deducted from proceeds available through the Grant.
9. Recipient shall be responsible for all health and safety issues for Recipient Offices at the Seconded Advisor.
10. Renewal past Term - at the agreement of the parties at the end of term and with the consent of the Seconded Advisor.

**SCHEDULE “B”
REQUEST FOR DISBURSEMENT OF GRANT**

Date: •

Fiscal Year: •

To:

Business Advisory Centre Durham Inc.
3000 Garden Street - Suite 200 Whitby,
ON L1R 2G6
Attention: Executive Director
Email: tshaver@bacd.ca
Attention: Teresa Shaver

From: [name of SBEC] ***** (the “Recipient”)

Re: SBEC Agreement between BACD and the Recipient effective October ***, 2020

Except as otherwise defined herein, all capitalized terms shall have the meanings given to them in the SBEC Agreement.

1. I, [insert name and title of senior officer] of the Recipient, on behalf of the Recipient, hereby certify without personal liability as follows:
 - (a) On and as of the date hereof, all representations and warranties contained in Article 7 of the SBEC Agreement are true and correct.
 - (b) On and as of the date of signing, no Event of Default, whether or not BACD has been given notice, has occurred and is continuing.
 - (c) The amounts disbursed from the Grant have not included any amounts paid to Non-Arm’s Length service providers. [Note: In the event that there are expenditures paid to Non-Arm’s Length service providers include the certificate or invoices required by section 5.3(b)* of the Agreement.]

- (d) ***[NTD: include the following for the second Disbursement - the Holdback]*** I certify that all monies received from the Grant have been to date and will be (if all have not been spent) used solely for the Purpose and the amount of \$● as been paid to relevant service provider personnel from funds from the first Disbursement.
2. I certify that the Disbursement will be used strictly in accordance with the Agreement and only for the Purpose.
 3. I certify that the information provided herein is accurate and is being relied upon to disburse funds in respect of the Grant.
 4. The Recipient hereby requests a Disbursement of \$● the amount of the Grant (less Holdback) ***OR*** the Holdback ***OR*** reimbursement of payroll expenses for service provider personnel for the previous month (supporting documentation to be included).

The undersigned has signed this certificate on this ● day of ● 2020●.

Per:

[insert name and title of senior officer]
I have authority to bind the organization.

[Name of SBEC Recipient]

**SCHEDULE “C”
MONTHLY REPORTING AND ACTION REQUIREMENTS**

Growth Wheel Training Name of Advisor	Completed: Mar 31, 2021

Monthly Grant Report information required:

# Marketing Outreach on the website portal by each SBEC. 3 email/promotions by each to SBEC clients over the period	Sep 30, 2021 Submit update
50,000 small business reached through the web portal - N/A to individual SBEC's	Submit monthly with finals due Sep 30, 2021
25,000 small businesses utilized a search, attended webinar, or asked for experts etc. Data supplied by each centre advisor and web portal	Submit monthly with finals due Sep 30, 2021
#of outreach activities with industry partners	Submit monthly with finals due Sep 30, 2021
#of industry partners engage in the project	Submit monthly with finals due Sep 30, 2021
# of businesses served by Virtual Service Advisor	Submit monthly
# of advisory hours by Virtual Service Advisor	Submit monthly
# of jobs impacted by Virtual Service Advisor	Submit monthly
Business Industries	Submit monthly

Subject: 2020 Business and Economic Development Advisory Committee Annual Report

Department: Community Services

Division: Economic Development

Report #: CMS-2020-011

Meeting Date: 2020-12-14

Recommendations

That report CMS-2020-011 regarding the 2020 Business and Economic Development Advisory Committee (BEDAC) Annual Report be received.

Background and Analysis

The BEDAC is comprised of eight members, including one member of Council, one representative of the business community, two members of the general public, and one representative appointed by each of: the Dufferin Board of Trade, the Orangeville Business Improvement Area, the Orangeville & District Real Estate Board, and the Orangeville Home Builders' Association.

The committee advises and makes recommendations to Council regarding policies, strategies and implementation plans to support and enhance the Town of Orangeville's business and economic development, tourism and cultural programs. It meets on a quarterly basis.

Despite constraints imposed by the Covid-19 pandemic, the BEDAC met three times in 2020 (June 23, September 22, December 1). The committee received updates and contributed to Covid business recovery plans and initiatives of the Economic Development and Culture division. They received progress reports on the 2020 draft Tourism Strategy and Action Plan and also provided sector-specific updates on behalf of the business community.

An annual work plan outlining the goals and objectives of the committee for 2021 can be reviewed in **Attachment 1** to this report.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Economic Vitality

Objective: Attract, retain and expand businesses

Sustainable Neighbourhood Action Plan

Theme: Economic Development and Culture

Strategy: Enhance economic resiliency through attraction, expansion and retention of diverse business industries

Notice Provisions

N/A

Financial Impact

None at this time.

Respectfully submitted

Ray Osmond,
General Manager,
Community Services

Reviewed by

Ruth Phillips,
Manager, Economic Development &
Culture

Attachment(s): 1. 2021 BEDAC Work Plan

Business and Economic Development Advisory Committee

Work Plan for 2021



Note: The Business and Economic Development Committee meets on a quarterly basis. Committee does not have an operating budget.

Updated: November, 2020

	Deliverable / Project	Description	Frequency	Scheduled Date	Location	Lead	Status	Deadline	Comments
1. a	Covid-19 Business Recovery Plan	Delivery of Virtual Symposium	Once	Q 1 or 2	Virtual	Councillor Andrews All members	Pending - Event will include keynote and breakout sessions led by BEDAC members	June 30	Budget: \$5000 (incl in EDC Operating budget)
1. b	Covid-19 Business Recovery Plan	Support implementation of recovery plan through delivery of ambassador services	Ongoing	Ongoing	N/A	All members	Ongoing - Members to stay abreast of and promote EDC services available with networks in community, place referrals where warranted	N/A	Budget: \$0
2.	EDC Strategies (Economic Development/2020 Tourism)	Receive updates to progress made in implementation of strategies that guide divisional activities and make recommendations for upcoming priority actions	Annually	September	N/A	All members	Strategy updates completed and documented by EDC staff. Reviewed annually by committee members	N/A	Budget: \$0
3.	Business Investment	Contribute to discussions/presentations on diverse approaches to business investment opportunities	Periodic	TBD	Virtual	Councillor Andrews	Pending – periodic, subject-based speakers. Potential off-site tours when possible	N/A	Budget: \$0
4.	Sectoral Updates	Provide updates on sector changes occurring within community	Quarterly	March, June, September, December	N/A	All members	Members to provide quarterly updates on trends, challenges, successes, and opportunities within their representative sectors for consideration/action as warranted	N/A	Budget: \$0

Subject: 2020 Cultural Plan Task Force Annual Report

Department: Community Services

Division: Economic Development

Report #: CMS-2020-013

Meeting Date: 2020-12-14

Recommendations

That report CMS-2020-013 regarding the 2020 Cultural Plan Task Force (CPTF) Annual Report be received.

Background and Analysis

The CPTF is comprised of six members, including one member of Council, one cultural entrepreneur, and one representative appointed by each of: Orangeville Blues and Jazz Committee, Dufferin Arts Council, Orangeville Business Improvement Area, and Theatre Orangeville.

The committee meets as required at the call of the Chair to contribute to decision making and advise on the progress of arts and cultural development within the Town of Orangeville. The committee strives to advance the Town's Municipal Cultural Plan - Orangeville's Cultural Advantage, and issues related to arts and culture.

The CPTF met two times in 2020 (June 18, December 8). The committee discussed and contributed to planning for the 2020 Arts and Culture Awards, delivered virtually for the first time on October 22. The Task Force also served as the jury for selection of utility box and mural artwork following the 2020 Call for Artists competition and made selections for the Children's Library Card Design Campaign.

An annual work plan outlining the goals and objectives of the committee for 2021 can be reviewed in **Attachment 1** to this report.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Economic Vitality

Objective: Stimulate tourism and cultural development

Sustainable Neighbourhood Action Plan

Theme: Economic Development and Culture

Strategy: Further establish Orangeville's identity through the expansion of tourism, culture and heritage

Notice Provisions

N/A

Financial Impact

None at this time.

Respectfully submitted

Ray Osmond,
General Manager,
Community Services

Prepared by

Ruth Phillips,
Manager, Economic Development &
Culture

Attachment(s): 1. 2021 Cultural Plan Task Force Work Plan

Cultural Plan Task Force Work Plan for 2021



Note: The Cultural Plan Task Force meets on an ad hoc basis as required to fulfill cultural and artistic initiatives. Committee does not have an operating budget.

November 2020

	Deliverable / Project	Description	Frequency	Scheduled Date	Location	Lead	Status	Deadline	Comments
1.	Public Art Program – utility boxes, murals, other	Serve as jury to select work of local artists to be installed as part of Public Art program	Annually	Jurying June 14-18	Installations at select locations across Town	Councillor Post All members	5-8 selections to be made following Call for Artists process running from March 15 – May 15, 2021	Installations complete October 2021	Budget: \$8,000 (EDC Cultural Development & Marketing Operating Budget)
2.	Arts & Culture Awards	Contribute nominations across 8 categories for annual awards. Participate in and promote event.	Annually	Nominations May 1 – August 31	Town Hall	Councillor Post	Nominations launched May 1- August 31 Event during Culture Days in October	October 2021	Budget: \$6,300 (EDC Cultural Development & Marketing Operating Budget)
3.	Monthly Arts & Culture Newsletter	Contribute events and initiatives to be included within monthly newsletter	12 /year	Published by first week of month	Electronic newsletter	All members	Ongoing	N/A	Budget: \$0
4.	2020 Tourism Strategy and Action Plan (following adoption by Council)	Contribute to fulfillment of the 2020 Strategy by contributing to specific actions and initiatives outlined within Strategy	Semi-annual	February September	N/A	All members	Specific actions to be determined pending approval of Strategy 01/21. Roles will include but not be limited to advocacy, feedback on publication/promotional design elements, tourism advisory functions, etc.)	N/A	Budget: \$0
5.	Orangeville's Cultural Advantage – Municipal Cultural Plan	Review progress report for Cultural Plan and identify any priority actions for implementation	Annually	February	N/A	Councillor Post All members	In Progress. Cultural Plan achievements maintained by EDC office.	N/A	Budget: \$0

Subject: Heritage Orangeville Committee Annual Report

Department: Corporate Services

Division: Clerks

Report #: CPS-2020-025

Meeting Date: 2020-12-14

Recommendations

That the Heritage Orangeville Committee 2020 Annual Report be received.

Background and Analysis

Heritage Orangeville consists of one member of Council, two to nine public appointments and one representative from the Orangeville Business Improvement Area.

The Committee promotes the preservation and restoration of buildings in Orangeville that are historically or architecturally significant and facilitates the conservation and preservation of our historically, architecturally and culturally significant properties, our natural environment and our culture. The Committee typically meets on a monthly basis, however in 2020 the Committee held eight (8) meetings, as a result of COVID-19 restrictions.

The Heritage Orangeville Committee participated in various initiatives in 2020 including:

Heritage Calendar Project – created and produced for more than two decades, the annual heritage calendar celebrates Orangeville’s unique history. The upcoming 2021 calendar entitled “Heroes and Heritage” honours first responders and essential workers, along with Orangeville’s heritage. Each month, a heritage home is profiled, along with an image of a team of first responders and/or essential workers, as thanks for their efforts during the COVID-19 pandemic.

Heritage Week Photographic Exhibit – To celebrate Heritage Week 2020, themed “2020 Vision: Bringing the Past into the Future”, the Committee arranged a photographic exhibit for the public to observe and enjoy.

Designations – Heritage Orangeville continues to research and prepare criteria for designation on historically significant properties and to educate homeowners regarding the value of designation in preserving Orangeville’s heritage.

Committee Representation – the committee continues to be represented in the following: Heritage Permit Application Reviews, Boulevard Café Permit Application Reviews, Heritage District Façade Grants, and pre-planning consultation meetings, as organized through the Planning Division.

Heritage Orangeville has prepared an annual work plan, which outlines the various projects that will be focused on in 2021.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Community Stewardship

Objective: Encourage and strengthen participation in the community by people of all ages

Sustainable Neighbourhood Action Plan

Not applicable

Notice Provisions

Not Applicable

Financial Impact

The attached workplan outlines the projected expenses for 2021, including: the Heritage Week banners exhibit, quarterly newsletters, heritage educational opportunities, and the heritage calendar for 2022.

Respectfully submitted

Andrea McKinney
General Manager, Corporate Services

Prepared by

Carolina Khan
Deputy Clerk, Corporate Services

Reviewed by

Karen Landry
Town Clerk, Corporate Services

Attachment: 1. 2021 Heritage Orangeville Committee Work Plan

Heritage Orangeville Work Plan for 2021



Annual 2021 budget request from Heritage Orangeville: \$10,000 for items listed

Updated: Nov. 30, 2020

	Deliverable / Project	Description	Frequency	Scheduled Date	Location	Lead	Status	Deadline	Comments
1.	Heritage Week – photo collection, presentation	Gather photos to document Orangeville's culture, people and historical and architecturally significant properties. Due to Covid-19, heritage exhibit to be done via banners along the downtown core.	Once per year	February 2021	Downtown	Gary Sarazin			Budget: \$ 2,000 (Public Relations, Promotions and Events)
2.	Photographic database of architecture in Orangeville, possible link to Data Orangeville	To build a database of historic photographs. Starting with Georgian and Pre-Confederation buildings.	Ongoing	N/A	Heritage buildings across Town			N/A	Budget: \$0
3.	Quarterly Newsletter	To educate heritage homeowners	Quarterly	March, June, September, December	N/A	Lynda Addy	<ul style="list-style-type: none"> Committee to consider distribution via email in future. 		Budget: \$2,000 (Public Relations, Promotions and Events)
4.	Possible Doors Open for 2022	Investigate opportunities for a future heritage home tour / Doors Open event Deferred from 2021 to 2022	Once per year	TBD	N/A	Committee	<ul style="list-style-type: none"> Committee to discuss in Fall of 2021 		Budget: \$0 (Public Relations, Promotions and Events)
5.	Heritage education	To allow committee members the opportunity to attend heritage related educational events Including: possible provincial education session, Ontario Heritage education opportunities	Ongoing	TBD	TBD	Committee	Members to research education opportunities	N/A	Budget: \$0 (Professional Development and Assoc. Fees)
6.	Heritage Calendar	An annual heritage calendar created and distributed by the Committee for Town residents	Once per year	Fall 2021	N/A	Committee	Committee to start 2022 Calendar as of March 2021 meeting	TBD	Budget: \$5,000 (Public Relations, Promotions and Events)

Subject: 2021 Interim Tax Levy

Department: Corporate Services

Division: Finance

Report #: CPS-2020-023

Meeting Date: 2020-12-14

Recommendations

That report CPS-2020-23, regarding the 2021 Interim Tax Levy, be received;

And that Council pass a by-law for the 2021 Interim Tax Levy.

Background and Analysis

Under Section 317 (1) of the Municipal Act, 2001, S.O. 2001, municipalities are permitted to pass a by-law to levy interim taxes on all rateable properties for local municipal purposes. The maximum allowable interim levy is 50% of the prior year's adjusted taxes.

The proposed interim tax levy by-law provides for the levy of interim taxes for the 2021 taxation year as authorized under the authority of Section 317 of the Municipal Act S.O. 2001.

Consistent with the Town's practice in previous years, the 2021 interim tax levy will be payable in installments. The tax installment dates requested are February 23rd and April 27th, which have been included in the 2021 Interim Tax Levy By-Law. The 2021 final tax rates will be established following the approval of budgets of the Town of Orangeville, The County of Dufferin and of the Province. The interim levy will be deducted from the final levy.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Strong Governance

Objective: Financial Responsibility

Sustainable Neighbourhood Action Plan

Theme: Corporate and Fiscal

Strategy: Demonstrate municipal leadership by considering the environment, social and economic impacts of all Town decisions.

Notice Provisions

Not applicable

Financial Impact

The interim levy is required to provide the necessary cash flow to meet the obligations for the Town including interim payments to the County of Dufferin and the School Boards until the annual tax rate can be set and final notices are prepared in May 2021.

Respectfully submitted

Nandini Syed, CMM III, CPA, CMA
Treasurer, Corporate Services

Reviewed by

Faye West, CPA CGA
Deputy Treasurer, Corporate Services

Prepared by

Connie Brown
Supervisor – Customer Service,
Taxation and Revenue, Corporate Services

Attachment(s): 1. 2021 Interim Tax Levy By-Law



The Corporation of the Town of Orangeville

By-law Number - 2020

A By-Law to provide for the levy and collection of rates or levies for the Town of Orangeville for the interim levy for the year 2021.

Whereas section 317(1) of the Municipal Act, S.O. 2001, c.25, as amended, provides for interim tax levies:

Be it therefore enacted by the Municipal Council of the Corporation of the Town of Orangeville as follows:

1. That the interim tax levy for 2021 shall equal but not exceed 50% of the total amount of taxes levied on each property in the Town of Orangeville for municipal and school purposes for the previous year (2020).
2. That for purposes of the preceding calculation, if any taxes for municipal and school purposes were levied on a property for only part of the previous year because assessment was added to the collector's roll during the year, an amount shall be added equal to the additional taxes that would have been levied on the property if the taxes for municipal and school purposes had been levied for the entire year.
3. That the taxes shall be payable in two installments as follows for all property classes:
 - i. February 23rd, 2021
 - ii. April 27th, 2021
4. That a penalty charge of one and one quarter (1.25) per cent of the amount of taxes due and unpaid be added on the first day of default and on the first day of each calendar month thereafter in which default continues, as set out in the Municipal Act.
5. That the Treasurer for the Town of Orangeville is hereby authorized to mail or cause to be mailed, the notice specifying the amount of taxes payable by any person liable for taxes, to the address of the person or persons to whom such notice is required.

6. That taxes are payable at the Municipal Office, 87 Broadway, Orangeville, Ontario, L9W 1K1.

Passed in open Council this 14th day of December 2020

Sandy Brown, Mayor

Karen Landry, Clerk

Subject: 670-690 Broadway, Recommendation Report, OPZ 4/19 and CD 2/20

Department: Infrastructure Services

Division: Planning

Report #: INS-2020-009

Meeting Date: 2020-12-14

Recommendations

That report INS-2020-009, 670-690 Broadway, Recommendation Report, OPZ 4/19 and CD 2/20, be received;

And that the Official Plan Amendment and Zoning By-law Amendment Applications (OPZ 4/19) be approved;

And that the By-law included as Attachment No. 2 to this report, be enacted to adopt site-specific Official Plan Amendment No. 127 to re-designate the subject lands from “Open Space Conservation” and “Residential” to “Residential” on Schedule ‘A’ and to “Low Density Multiple” on Schedule ‘C’ to permit 33 condominium townhouse units on the subject lands;

And that the amending Zoning By-law included as attachment No. 3 to this report be enacted to rezone the subject lands from “Development (D) Zone” to “Multiple Residential Medium Density (RM1) Zone with Holding (H) Symbol and Special Provision (24.225)” to permit 33 condominium townhouse units;

And that the Draft Plan of Vacant Land Condominium included as Attachment No. 5 to this Report, be approved for a period of three (3) years generally in accordance with the conditions included as Attachment No. 6 to this report.

By-laws:

That a By-law to adopt Amendment No. 127 to the Official Plan for the Town of Orangeville be read a first, second and third time and finally passed;

And that a By-law to amend Zoning By-law No. 22-90, as amended, be enacted to permit the use of Part of Lot 5, Concession C, Town of Orangeville, County of Dufferin, municipally known as 670 & 690 Broadway, as 33 condominium townhouse units.

Background and Analysis

The lands subject to these applications are comprised of two parcels located on the south side of Broadway, east of Riddell Road. The subject lands are legally described as Part of Lot 5 Concession C, and Part of Lot 5 Concession C Parts 1 and 2 on Registered Plan 7R-5321 and are municipally known as 670 & 690 Broadway. The parcels have a combined lot area of approximately 1.107 hectares (2.735 acres), with approximately 173 metres (567.59 feet) of frontage along Broadway. Attachment No. 1 includes a location map of the subject properties.

Two single-storey detached dwellings are situated on the subject lands, with one dwelling located on each of the two properties. Each dwelling has an independent driveway access onto Broadway.

Surrounding land uses generally consist of a mixture of commercial and industrial uses to the north (opposite to Broadway, within the Township of Amaranth), low and medium-density residential developments to the east, south and west, with conservation lands also immediately surrounding the subject properties.

Development Proposal

On July 25, 2019, Matthews Planning & Management Ltd. submitted applications on behalf of 2040771 Ontario Inc. & Habitat for Humanity to amend the Town's Official Plan and Zoning By-law to facilitate the development of forty (40) condominium townhouse units. The applications were deemed incomplete by Planning Division staff on September 4, 2019, and subsequently deemed complete on October 3, 2019.

A public meeting was held on December 2, 2019 to present the proposed development to Council and members of the public, answer any questions and obtain feedback.

Several questions and concerns were expressed with respect to the proposed development and its potential impacts to traffic and natural features, as well as its compatibility with surrounding residential areas. In response to the comments received, and through the application review process, the applicant has revised the concept plan. The current concept plan is included as Attachment No. 4. Key revisions made in comparison to the original development plan are summarized in the following table:

Statistic	Original Concept	Current Concept
Dual Frontage Townhouses	19	7
Standard Townhouses	21	26
Total Units	40	33

Density	41 units per net hectare	32 units per net hectare
Parking	2 resident spaces per unit 10 visitor spaces	2 resident spaces per unit 9 visitor spaces
Parkette	none	198 square metres
Walkway	Proposal to connect south to Dinnick Crescent	Connecting east to adjacent open space conservation lands and townhouse development.

On August 17, 2020, Van Harten Surveying Inc. submitted a Vacant Land Condominium application on behalf of 2040771 Ontario Inc. & Habitat for Humanity. The purpose and effect of the Draft Plan of Vacant Land Condominium application is to subdivide the subject lands to create 33 lots for townhouse units, delineate the common elements comprised of a private road, parkette and visitor parking, and to establish appropriate easements.

A public meeting was held on November 23, 2020 to present the revised concept to Council and members of the public, answer any questions and obtain feedback. A delegation on behalf of the residents noted that in general, the residents are satisfied with the changes made by the applicant.

Analysis

Subsection 3(5) of the Planning Act states that where a municipality is exercising its decision-making authority affecting a planning matter, such decisions “shall be consistent with” policy statements issued under the Act and “shall conform to”, or “shall not conflict with” the provincial plans that are in effect on that date.

Section 9(2) of the Condominium Act states that the sections of the Planning Act that apply to plans of subdivision also apply to condominium plans. Section 51(24) of the Planning Act provides a list of matters to be regarded when considering the approval of a plan of subdivision, such as consistency with Provincial policy, conformity with the Official Plan and adjacent plans of subdivision, and the adequacy of utilities and municipal services to permit the development.

The following sections provide an analysis of the proposal’s adherence to provincial, County and Town planning policy in support of the recommendation for Council’s decision concerning these applications.

Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The new 2020 PPS came into effect on May 1, 2020, replacing the former PPS of 2014. PPS policies require municipalities to facilitate the development of compact, complete communities in a

manner that encourages efficient use of existing infrastructure and public service facilities while protecting public health and safety and the natural environment.

The Official Plan amendment, Zoning By-law amendment and Draft Plan of Condominium applications are consistent with the policies of the PPS because the approval of these applications would assist in:

- promoting efficient development and land use patterns, avoiding development patterns which may cause environmental or public health safety concerns, and promoting cost-effective development to minimize land consumption and servicing costs (Section 1.1.1); and
- facilitating growth within an existing built-up area that promotes compact form and a mix of uses and densities (Section 1.1.3.6).

Growth Plan for the Greater Golden Horseshoe (2019)

The current provincial Growth Plan (A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019) came into effect on May 16, 2019 and was most recently updated as of August 28, 2020. The Growth Plan provides an overall growth strategy for the Greater Golden Horseshoe region aiming to create compact, vibrant and complete communities by directing new growth and development (i.e. residential and employment) to occur within settlement areas, with a focus on providing a diverse range of housing and employment, high quality public open spaces, easy access to local amenities and protection of cultural heritage resources.

The Official Plan amendment, Zoning By-law amendment and Draft Plan of Condominium applications conform to the policies of the Growth Plan because the applications would facilitate:

- directing growth to a settlement area with full municipal services (Section 2.2.1);
- supporting the achievement of a complete community through providing a diverse range and mix of housing options (Section 2.2.1.4);
- efficient development and land use patterns, which avoid development patterns that may cause environmental or public health safety concerns, and promote cost-effective development to minimize land consumption and servicing costs (Section 1.1.1); and
- growth within an existing built-up area that promotes compact form and a mix of uses and densities (Section 1.1.3.6).

County of Dufferin Official Plan

The subject lands are designated “Urban Settlement Area” on Schedule ‘B1’ in the County of Dufferin Official Plan (County OP).

The County Official Plan identifies urban settlement areas as focal points for growth, which are intended to accommodate a broad range of uses. These areas are comprised of lands that provide full municipal services (i.e. sewage, water and stormwater management) and support a broad range of land uses and densities, including a mix of

housing types. Urban settlement areas are to be designed to support walkable communities with opportunities for public transit use. The range of permitted uses and associated land use policies are to be prescribed in municipal official plans.

The Official Plan amendment, Zoning By-law amendment and Draft Plan of Condominium applications are consistent with the policies of the Dufferin County Official Plan.

Town of Orangeville Official Plan

The northern part of the subject lands is designated “Residential”, with the southern part designated “Open Space Conservation” on Schedule ‘A’ (Land Use Plan) in the Town of Orangeville Official Plan (OP). The “Residential” designation permits a range of housing types including single detached, converted dwellings, semi detached dwellings, duplex dwellings, triplexes, quadruplexes, and multi-family housing including row/townhouses and apartments (Section E1.3). The “Open Space Conservation” designation represents areas where the land is protected for natural features, and development is prohibited. Permitted uses are limited to public works associated with watercourses (i.e. bridges, wells and sewage treatment facilities), outdoor recreational uses, and accessory uses, subject to approvals by all appropriate agencies (Section E5.3.6).

The subject lands are designated as “Greenfield Areas” on Schedule ‘B1’ (Built Boundary) in the OP. New development within Greenfield Areas is to be planned to achieve a density that contributes towards an overall minimum density of 46 resident and jobs per hectare, which is measured over the entire Greenfield Area of the Town (Section E1.11.8).

In order to permit 33 condominium townhouse units, an Official Plan Amendment is required to revise the “Residential” designation area (Schedule A – ‘Land Use Plan’) and add a new “Low Density Multiple” (Schedule C – ‘Residential Density Plan’) overlay designation. The Official Plan Amendment would remove the “Open Space Conservation” designation from the southern part of the subject lands, such that the entirety of the subject land is designated “Residential”. The “Open Space Conservation” designation will remain on the newly delineated conservation lands owned by the Town, located between the subject lands and the properties on Dinnick Crescent, as shown in Attachment No. 1.

The Low Density Multiple designation permits a range of residential uses including single detached, 2 to 4 unit dwellings, and row/townhouses with a maximum permitted density of up to 49 units per net residential hectare. The residential density resulting from the proposed development is approximately 32 units per net residential hectare (upnha).

The Official Plan amendment, Zoning By-law amendment and Draft Plan of Condominium applications are in keeping with the policies of the Town OP because the applications would:

- increase supply of good quality living accommodations with a full range of types, densities and architectural forms (Section B2.2);
- provide a balanced range of housing that meets a variety of needs in terms of size, type, ownership status and location (Section E1.2.3);
- consider converted dwelling units where appropriate, ensuring surrounding areas are not detrimentally affected (Section E1.5.1);
- contribute to an overall density of 46 resident and jobs per hectare (Section E1.11.8); and
- contribute to the creation of a complete community that provides a diverse mix of land uses, high quality of urban design, and complements the established character of the neighbourhood (Section E1.11.7).

The proposed Official Plan Amendment (OPA No. 127) is included as Attachment No. 2.

The proposed Draft Plan of Condominium has been reviewed in the context of the OP's Neighbourhood Design policies contained in Section E1.9. Section E1.9.2 highlights the importance of promoting a mix of lot sizes to achieve visual variety and to accommodate a broader range of households in the Town's neighbourhoods. The proposed development includes a mix of dual frontage townhouses and standard townhouses which contributes to a mix of lot sizes and also achieves visual variety within the development. The subject property is surrounded by a mix of residential uses including single detached dwellings and townhouses on a range of lot sizes.

The Draft Plan of Condominium implements the Official Plan Amendment and conforms to the residential and neighbourhood design policies of the OP.

Town of Orangeville Zoning By-law No. 22-90

The subject property is zoned "Development" (D) Zone, subject to a Holding (H) Symbol on Schedule 'A' (Map No. C1 & C2) to Zoning By-law No. 22-90, as amended. The 'D' Zone permits any existing dwelling units, as well as home occupations.

The Zoning By-law Amendment application proposes to rezone the subject lands to "Multiple Residential Medium Density" (RM1 Zone) to permit the proposed development. The RM1 zone permits a townhouse, a converted dwelling house, a multiple dwelling, group home, crisis care facility, long-term care facility and retirement home.

Site-specific provisions are also required to permit the development as proposed. The following table outlines the site-specific provisions proposed in comparison to the "Multiple Residential Medium Density" Zone (Section 12) standards of the by-law:

Regulation (RM1 Zone)	Requirement	Site Specific (SP.24.225)	
		Dual Frontage	Standard
Lot Area (min)	180 sq. m.	140 sq. m.	160 sq. m.
Lot Frontage (min)	5.5 m	7.8 m	5.8 m

Front Yard (min)	6.0 m	-	6.0 m to garage 5.0 m to front of dwelling
Interior Side Yard (min)	1.5 m	-	-
Exterior Side Yard (min)	3.5 m	-	-
Rear Yard (min)	10 m	4 m	-
Building Height (max)	9.2 m	12 m	-
Lot Coverage (max)	-	62%	50%
Ground Floor Area (min)	-	55 sq. m.	75 sq. m.
Density (max)	-	32 units per hectare	

The Zoning By-law amendment will maintain the Holding (H) Symbol currently applied to the subject lands. The Holding (H) Symbol will need to be removed in order for the proposed development to proceed. This will require satisfactory confirmation that the necessary servicing capacity is formally allocated to this development.

The proposed Zoning By-law Amendment is included as Attachment No. 3. The Draft Plan of Condominium implements the Zoning By-law Amendment.

Parkland

Parkland dedication or cash-in-lieu of parkland is required for the proposed development. Since the lands are intended to be developed as a condominium, no public land will be dedicated to the Town for the purpose of parkland. Rather, the owner will be required to pay cash-in-lieu of parkland in accordance with the Town's Parkland Dedication By-law 41-2012 and will be collected prior to the issuance of building permits. A condition of draft approval has been included to this effect.

Additional Applications Required

In addition to the Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Vacant Land Condominium approvals for the subject lands, the following applications will be required:

1. **Residential Demolition Permit** to facilitate the demolition of the existing dwellings on the subject land prior to development. A Residential Demolition Application has not been submitted to date in conjunction with these applications.
2. **Site Plan Approval** to facilitate the proposed development. The site plan review and approval process will address the exterior elements of the development in detail, including site servicing, drainage and stormwater management, architectural design, lighting, and landscaping, as applicable. These site design measures can also be used to mitigate any potential impacts and assist in ensuring compatibility with surrounding uses. An executed Site Plan Agreement between the Town and the applicant will be required prior to the commencement of construction. A Site Plan Application has not been submitted to date in conjunction with this development proposal.

3. **Lifting of the Holding (H) Symbol** to facilitate the removal of the Holding (H) Symbol that is placed on the land as part of the Zoning By-law Amendment. The purpose of the (H) symbol is to ensure the appropriate servicing capacity needed to accommodate the proposed development is formally allocated to the development before it proceeds. An application to remove the Holding (H) Symbol will be required after Site Plan approval has been granted.

Review and Consultation

Internal Departments and External Agencies

The applications and supporting documentation were circulated to internal departments and external agencies for comment, pursuant to the mandate and technical area of expertise of each reviewing department/agency.

The following agencies and Town departments have expressed no concerns with the application and/or have included appropriate conditions of draft approval (Attachment No. 6):

- Infrastructure Services, Building
- Infrastructure Services, Transportation and Development
- Infrastructure Services, Environment
- Infrastructure Services, Planning
- Community Services, Orangeville Fire
- County of Dufferin – Planning
- County of Dufferin – Public Works
- County of Dufferin – Waste Management Services
- Upper Grand District School Board
- Dufferin-Peel Catholic District School Board
- Conseil Scolaire Viamonde
- Rogers Communications
- Enbridge Gas Inc.
- Hydro One
- Bell Canada
- Canada Post

No additional comments have been received from internal departments or external public agencies with respect to this application.

Public Consultation

Public information meetings were held in accordance with the Planning Act requirements on December 2, 2019 (OPZ 4/19) and September 23, 2020 (CD 2/20). The purpose of the public meetings was to provide opportunities for the applicant to present their applications to the public and Council, to receive comments, and answer any questions raised about the proposed development.

Comments and questions were expressed at the public meetings seeking clarification on certain aspects of the proposal and responses were provided by Planning division staff and the applicant's representative in attendance at the meetings. The questions and comments raised at the meetings which required further exploration as part of the application review process, as well as staff responses, are summarized in the following table:

Question/Comment	Response
Council requested that the developer consider the inclusion of a parkette.	A 198 square metre private parkette, which will include a 'tot lot', has been added to the southeastern corner of the development.
The public requested that the applicant consider re-routing the walkway to the east, rather than connecting through to Dinnick Crescent.	Staff worked with the applicant to explore suitable options for a pedestrian walkway connection. Due to grading constraints between the proposed development and Dinnick Crescent, the walkway connection has been revised to connect to the adjacent open space conservation/stormwater management area, leading out to Samuel Court.
The public raised concerns with the removal of trees and the impact on privacy.	A qualified arborist was engaged to undertake a tree inventory to confirm the quality of existing trees. The report concluded that "based on the condition and species of the majority of trees on site and the proposed Site Plan, all fifty-eight (58) trees and tree groups require removal." A conceptual landscape plan has also been prepared with a list of replacement trees and proposed buffer plantings adjacent to the existing development on Dinnick Crescent. The final landscape plan will be reviewed and approved through the Site Plan process.
The public raised concerns with location of the second row of townhouses and their impact on privacy and overlook.	Architectural cross-sections were prepared and submitted to demonstrate the relationship between the existing houses on Dinnick Crescent and the proposed second row of Townhouses. The proposed second row of townhouses will have walk-out basements that will be approximately 2.5m above the existing walk-out basements of the houses on Dinnick Crescent. This change in elevation is mitigated by an approximate distance of 40m between houses, and proposed buffer plantings.
The public raised concerns with increase traffic.	A Traffic Impact Study submitted by the applicant concluded that the proposed development can be fully accommodated on the existing road network without needing any upgrades. The County of Dufferin has reviewed and approved the proposed entrance location and the Traffic Study.

Strategic Alignment**Orangeville Forward – Strategic Plan**

Priority Area: Sustainable Infrastructure

Objective: Plan for Growth

Sustainable Neighbourhood Action Plan

Theme: Land Use and Planning

Strategy: Co-ordinate land use and infrastructure planning to promote healthy, liveable and safe communities.

Notice Provisions**Official Plan and Zoning By-law Amendment Applications (OPZ 4/19)**

The applications were received on July 25, 2019 and deemed incomplete by Planning Division staff on September 4, 2019 due to certain required supporting information not being included with the application submission. The applications were subsequently deemed complete by Planning Division staff on September 18, 2019 upon receipt of the outstanding submission material.

In accordance with the requirements of the Planning Act, on October 3, 2019, a Notice of Complete Application was:

- i. circulated to all property owners within 120 metres of the subject property;
- ii. advertised in the Orangeville Citizen;
- iii. published to the Town website; and
- iv. posted via signage on the subject property.

A public information meeting was held in accordance with the Planning Act requirements on December 2, 2019. A Notice of Public Meeting was provided on November 7, 2019, in the same manner as described above.

Draft Plan of Vacant Land Condominium Application (CD 2/20)

The application was received on August 17, 2020 and deemed complete by Planning Division staff on August 24, 2020. A public information meeting was held in accordance with the Planning Act requirements on November 23, 2020.

In accordance with the requirements of the Planning Act, on September 3, 2020, a Notice of Complete Application and Public Meeting was:

- i. circulated to all property owners within 120 metres of the subject property;

- ii. advertised in the Orangeville Citizen;
- iii. published to the Town website; and
- iv. posted via signage on the subject property.

Financial Impact

There are no anticipated financial impacts to the Town arising from this Report.

Respectfully submitted

Reviewed by

Douglas G. Jones, M.E.Sc., P.Eng.
General Manager, Infrastructure Services

Brandon Ward, MCIP, RPP
Manager, Planning, Infrastructure Services

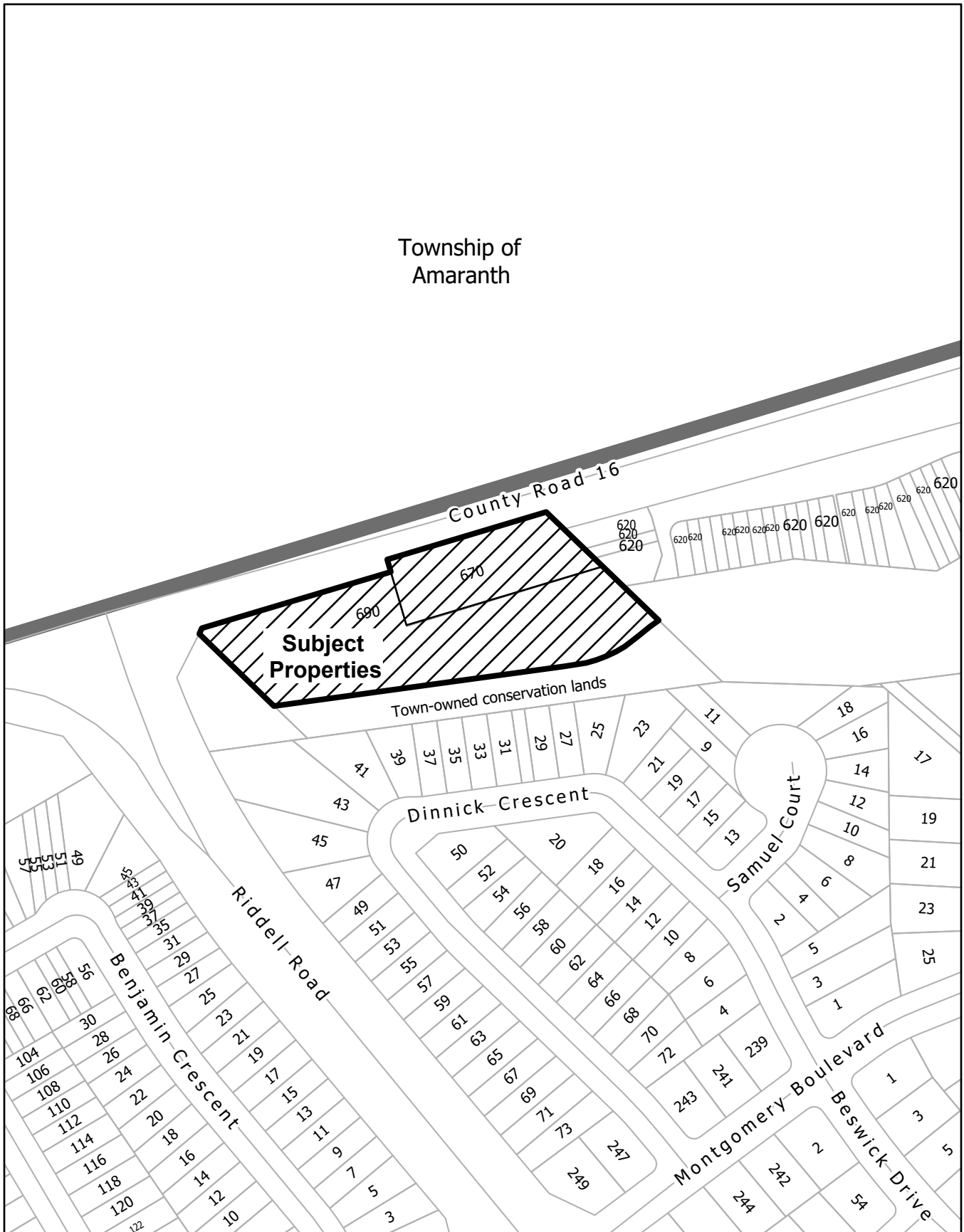
Prepared by

Larysa Russell, MCIP, RPP
Senior Planner, Infrastructure Services

- Attachments:**
- 1. Location Map
 - 2. Official Plan Amendment No. 127
 - 3. Zoning By-law Amendment
 - 4. Conceptual Site Plan
 - 5. Draft Plan of Vacant Land Condominium
 - 6. Conditions of Draft Approval



Township of
Amaranth





The Corporation of the Town of Orangeville

By-law Number _____

A By-law to Adopt Amendment No. 127 to the Official Plan (2040771 Ontario Inc.; OPZ 4/19).

The Council of the Corporation of The Town of Orangeville, in accordance with the provisions of Section 22 of the Planning Act, R.S.O. 1990, c.P.13 and amendments thereto, hereby enacts as follows:

1. Amendment No. 127 to the Official Plan for The Town of Orangeville, consisting of the attached explanatory text and maps is hereby adopted.

Passed in open Council this 14th day of December, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

**The Official Plan
for the
Town of Orangeville
Amendment No. 127**

The attached explanatory text and map, constituting Amendment Number 127 to the Official Plan for the Town of Orangeville, was adopted by the Council of the Corporation of the Town of Orangeville, under the provisions of Section 22 of the Planning Act, R.S.O., 1999, C. P.13 on December 14, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

**The Official Plan
for The Town of Orangeville
Amendment No. 127**

Part A – The Preamble

1. Purpose of the Amendment

The purpose of the amendment is to re-designate the subject lands from “Open Space Conservation” and “Residential” to “Residential” on Schedule ‘A’ and to “Low Density Multiple” on Schedule ‘C’ to permit 33 condominium townhouse units on the subject lands.

2. Location

This amendment applies to the lands described as Parts 1 and 2, Registered Plan 6535 and Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway. The lands comprise 1.107 hectares and are located on the south east corner of Broadway and Riddell Road.

3. Basis of the Amendment

The surrounding land uses generally consist of a mixture of commercial and industrial uses to the north (opposite to Broadway, within the Township of Amaranth), low and medium-density residential developments to the east, south and west, with conservation lands also immediately surrounding the subject properties.

On December 2, 2019 a statutory public meeting was held for public review and comment. The property is located in a Greenfield Area as identified on Schedule B1 (Built Boundary) to the Town’s Official Plan and subject to policies E1.11 which encourages development that contributes to complete communities, provides a diverse mix of land uses and complements the established character of the neighbours. Greenfield developments should contribute to achieving an overall density of 46 residents and jobs per hectare.

An official plan amendment is needed, since the “Low Density Residential” designation does not permit townhouses. In preparing the current amendment, the Town has considered several planning objectives, constraints and interests of the community. The development of the lands will allow for a form of development and tenure that appears to be in demand in the Town of Orangeville. The development proposed will contribute to the Town’s objectives to provide a range and mix of housing options. The proposed amendment complies with the intent of the Official Plan policies of section I12 related to the criteria that is to be considered when amending the plan.

The basis for this amendment is as follows:

1. The proposed development is consistent with the Provincial Policy Statement.
2. The proposed development conforms to the Growth Plan for the Greater Golden Horseshoe.
3. The proposed development conforms to the Dufferin County Official Plan.
4. The proposed development conforms to the general intent and purpose of the Town of Orangeville Official Plan.
5. The density of the proposed development contributes towards and achieving and overall Greenfield density of 46 units and jobs per hectare.
6. The proposed development is appropriate within the context of the existing neighbourhood context.
7. The proposed redevelopment will connect to full municipal services.

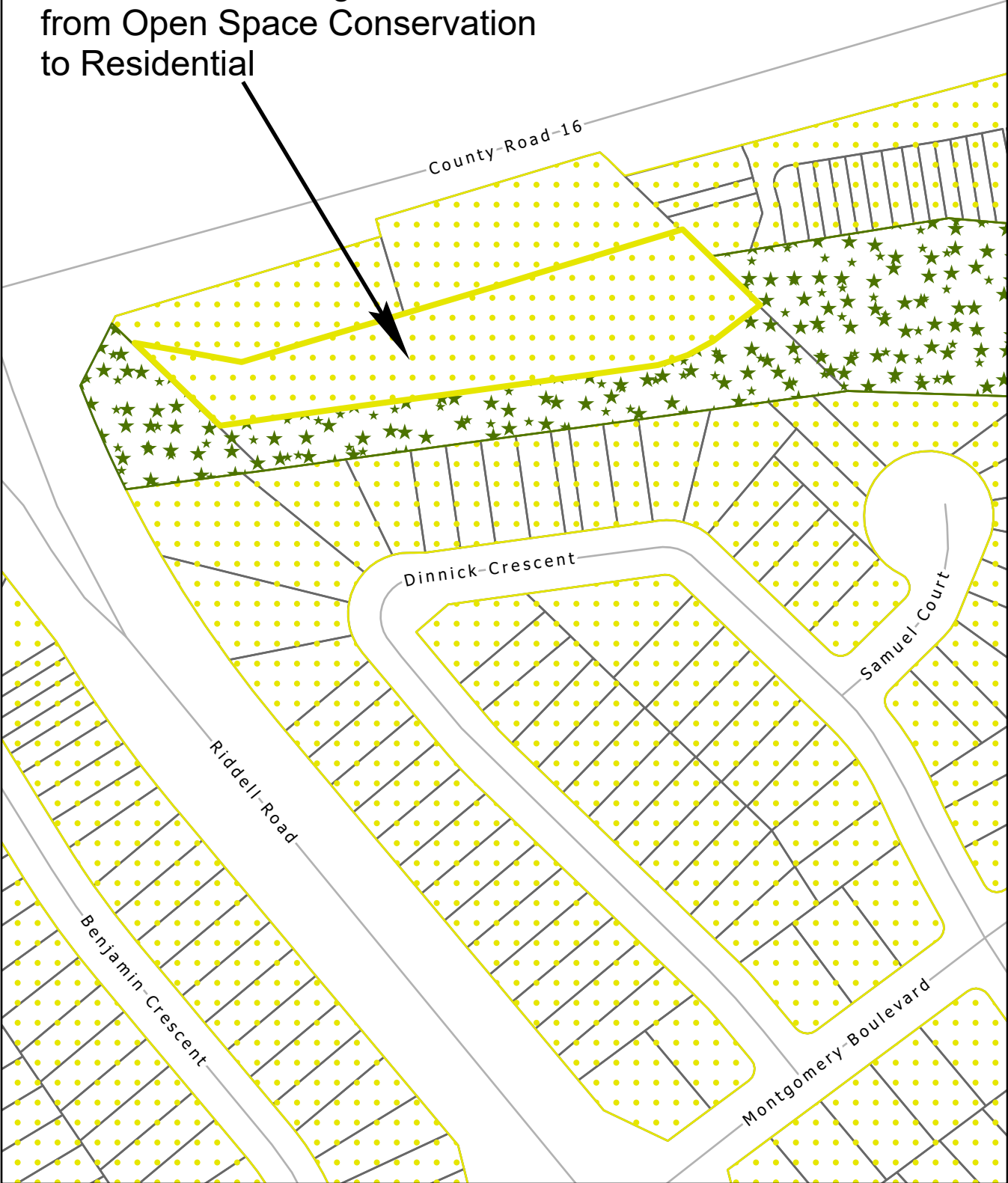
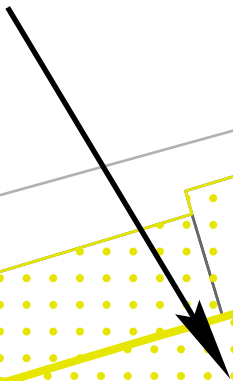
Part B – The Amendment

The Official Plan for the Town of Orangeville is amended as follows:

1. Schedule “A” “Land Use Plan” is hereby amended by designating the lands to “Residential” as shown on the attached Schedule “A” to this amendment.
2. Schedule “C” “Residential Density Plan” is hereby amended by designating the lands to “Low Density Multiple” as shown on Schedule “B” attached to this amendment.

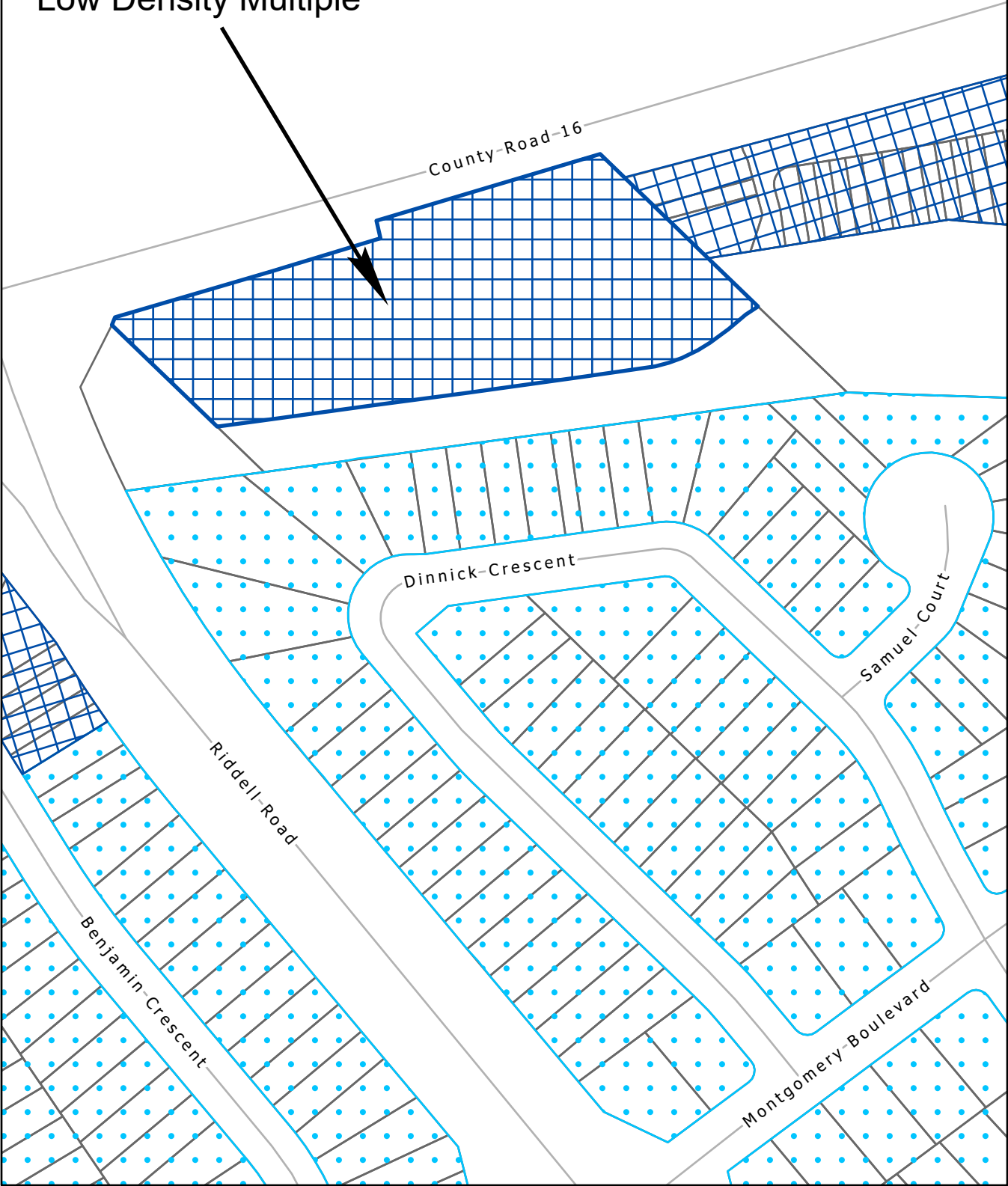
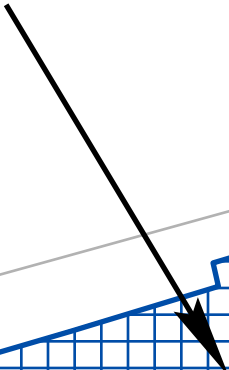


Lands to be redesignated
from Open Space Conservation
to Residential





Lands to be designated
Low Density Multiple





The Corporation of the Town of Orangeville

By-law Number _____

A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway

2040771 Ontario Inc., OPZ 4/19

Whereas the Council of the Corporation of the Town of Orangeville is empowered to pass By-laws to permit the use of land pursuant to Sections 34 and 36 of the Planning Act, RSO 1990, as amended;

And whereas Council considers it desirable to pass a By-law to amend Zoning By-law No. 22-90, as amended, to permit the use of Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway, as a 33-unit townhouse development.

Be it therefore enacted by the municipal Council of The Corporation of the Town of Orangeville as follows:

1. That Schedule "A", Maps C1 and C2 to Zoning By-law No. 22-90, as amended, is hereby further amended by rezoning the lands as depicted on Schedule "A" attached to this By-law.
2. That Section 24 of By-law 22-90, as amended, is hereby further amended by adding the following thereto:

"24.225 Notwithstanding the provisions of Sections 12.2, the following provisions shall apply to the lands zoned as Multiple Residential Medium Density (RM1) Zone, Special Provision 24.225:

1) Maximum Density	32 units per hectare
--------------------	----------------------

Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Public Road (measurements taken from the Public Road):

1) Lot Area (minimum)	140.0 square metres per dwelling unit
-----------------------	---------------------------------------

- | | | |
|----|---|--------------------------------------|
| 2) | Lot Frontage (minimum) | 7.8 metres per dwelling unit |
| 3) | Exterior Side Yard (minimum)
to a Private Street | 3.5 metres |
| 4) | Rear Yard (minimum) | 4.0 metres |
| 5) | Building Height (maximum) | 12.0 metres |
| 6) | Lot Coverage (maximum) | 62% |
| 7) | Ground Floor Area (minimum) | 55.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) covered porches and stairs are permitted to encroach a maximum of 2.75 metres into the minimum required rear yard; and
- b) balconies shall be permitted to encroach a maximum of 1.8 metres into the minimum required front yard.

Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Private Street (measurements taken from the Private Street):

- | | | |
|----|-----------------------------|---------------------------------------|
| 1) | Lot Area (minimum) | 160.0 square metres per dwelling unit |
| 2) | Lot Frontage (minimum) | 5.8 metres per dwelling unit |
| 3) | Front Yard (minimum) | |
| | - to front of dwelling | 5.0 metres |
| | - to garage | 6.0 metres |
| 4) | Lot Coverage (maximum) | 50% |
| 5) | Ground Floor Area (minimum) | 75.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 4.5 metres into the minimum required rear yard."

Holding Symbol

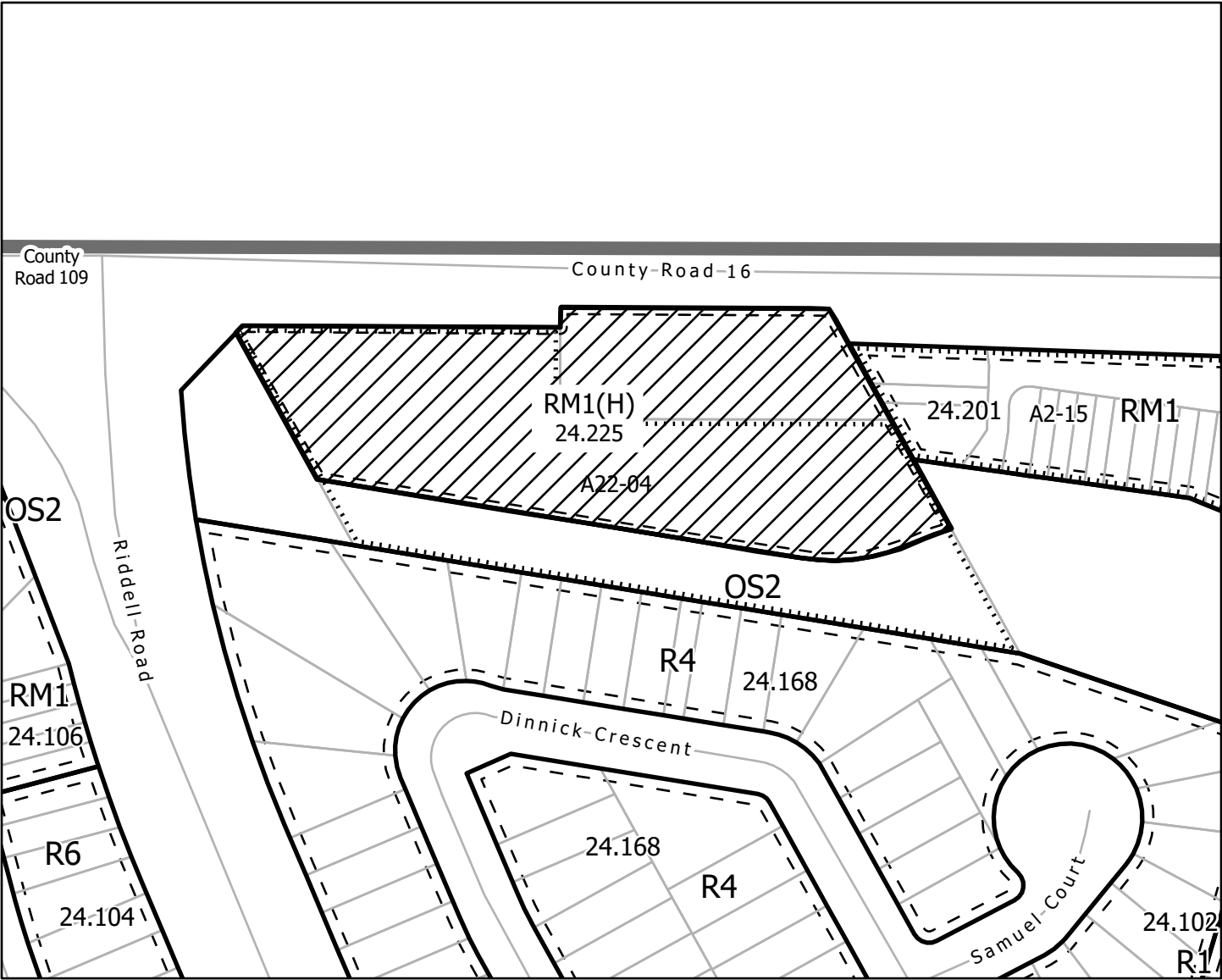
The Holding Symbol (H) shall only be removed from all or a portion of the lands when the Town is satisfied that:

- 1) there is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

Passed in open Council this 14th day of December, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

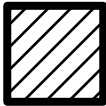


The Corporation of The Town of Orangeville
Schedule 'A' Town of Orangeville Zoning By-law 22-90

Schedule **"A"** to by-law
Passed the _____ day of _____

Mayor

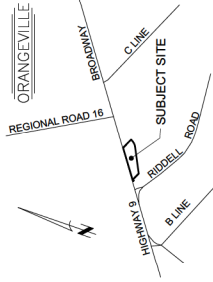
Clerk

 Lands to be rezoned from
Development (D) Zone to Multiple
Residential Medium Density (RM1)
(H) Zone, S.P. 24.225



DRAFT PLAN OF VACANT LAND CONDOMINIUM
PART OF LOT 5, CONCESSION C
(GEOGRAPHIC TOWNSHIP OF EAST GABARUWA)
TOWN OF ORANGEVILLE
COUNTY OF DUFFERIN

SCALE 1:400
VAN HARTEN SURVEYING INC.



UNIT	AREA m ²	UNIT	AREA m ²
1	150.8	16	255.5
2	148.2	17	251.1
3	148.2	18	153.3
4	148.2	19	208.4
5	177.8	20	296.4
6	148.0	21	214.4
7	148.0	22	214.4
8	207.5	23	254.8
9	216.0	24	199.5
10	216.7	25	250.0
11	216.7	26	250.0
12	216.7	27	250.0
13	251.6	28	175.3
14	251.6	29	175.3
15	191.0	30	184.7
16	255.5	31	199.8
17	251.1	32	257.9

SCHEDULE:
LANDER SECTION(S) OF THE PLANNING ACT
(a) BOUNDARIES AS SHOWN
(b) KEY PLAN AS SHOWN
(c) PURPOSE OF SITE: 3-STORY TOWNHOUSE CONDOMINIUMS
(d) DIMENSIONS OF UNITS AS SHOWN
(e) DIMENSIONS OF COMMON ELEMENTS AS SHOWN
(f) NATURAL FEATURES AND
(g) GRAVEL AND LOAM
(h) ALL MUNICIPAL SERVICES AVAILABLE
(i) NO EASEMENTS FOUND ON SUBJECT PROPERTY
(j) PROPOSED DRIVINGS AND ACCESS EASEMENTS

ADDITIONAL INFORMATION
SITE AREA: 5,800 m²
NUMBER OF RESIDENTIAL UNITS: 33

OWNER'S CERTIFICATE
I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYOR'S CERTIFICATE
I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS PLAN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NOTE:
METRIC: METERS
DIMENSIONS ARE SHOWN IN METERS AND DECIMALS THEREOF.
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DATE: AUGUST 13, 2020

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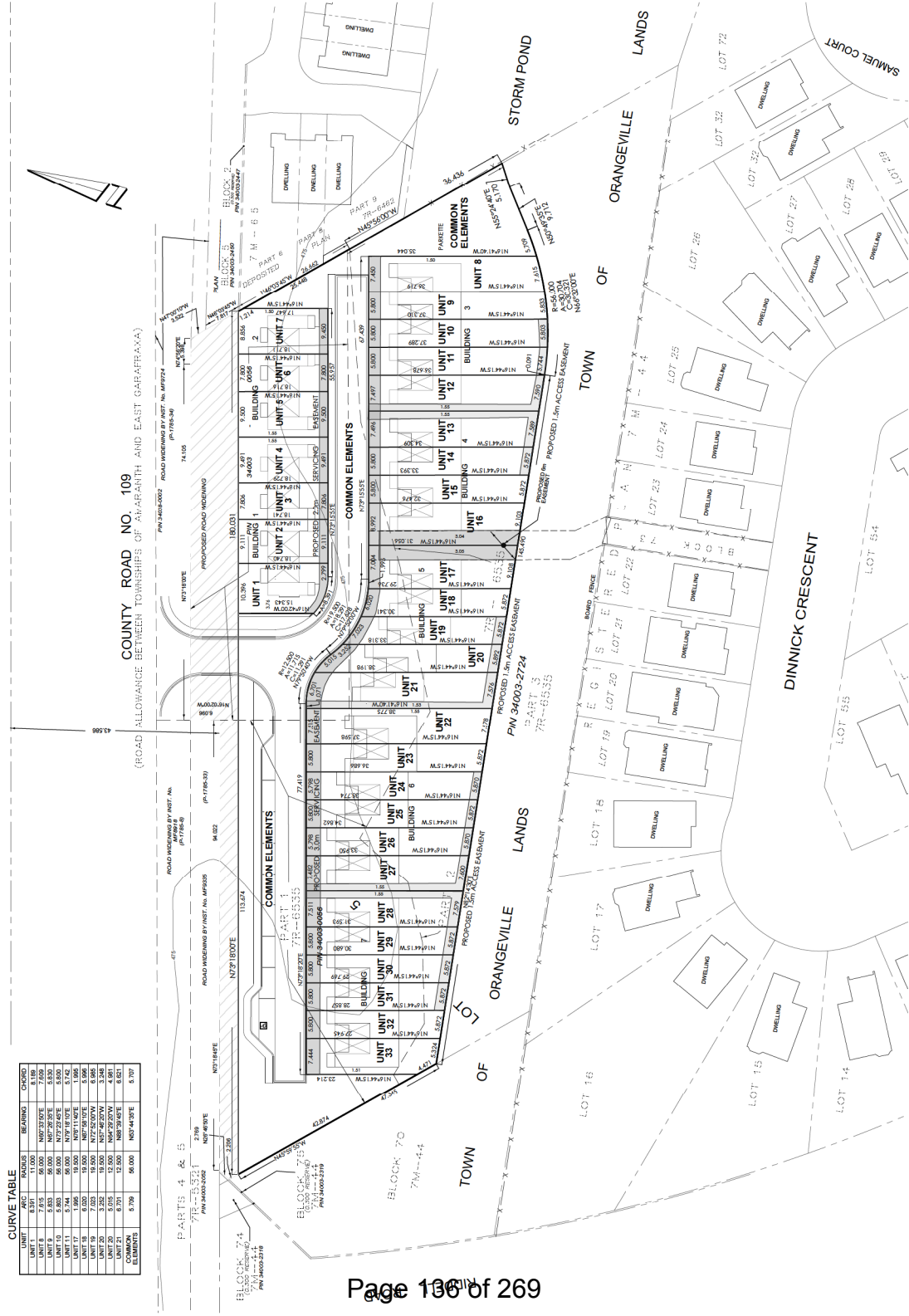
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UNIT	ARC	RADIUS	BEARINGS	CHORD
UNIT 1	6.715	95.000	N07°23'50"E	7.610
UNIT 2	6.715	95.000	N07°23'50"E	7.610
UNIT 3	6.715	95.000	N07°23'50"E	7.610
UNIT 4	6.715	95.000	N07°23'50"E	7.610
UNIT 5	6.715	95.000	N07°23'50"E	7.610
UNIT 6	6.715	95.000	N07°23'50"E	7.610
UNIT 7	6.715	95.000	N07°23'50"E	7.610
UNIT 8	6.715	95.000	N07°23'50"E	7.610
UNIT 9	6.715	95.000	N07°23'50"E	7.610
UNIT 10	6.715	95.000	N07°23'50"E	7.610
UNIT 11	6.715	95.000	N07°23'50"E	7.610
UNIT 12	6.715	95.000	N07°23'50"E	7.610
UNIT 13	6.715	95.000	N07°23'50"E	7.610
UNIT 14	6.715	95.000	N07°23'50"E	7.610
UNIT 15	6.715	95.000	N07°23'50"E	7.610
UNIT 16	6.715	95.000	N07°23'50"E	7.610
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UNIT 24	6.715	95.000	N07°23'50"E	7.610
UNIT 25	6.715	95.000	N07°23'50"E	7.610
UNIT 26	6.715	95.000	N07°23'50"E	7.610
UNIT 27	6.715	95.000	N07°23'50"E	7.610
UNIT 28	6.715	95.000	N07°23'50"E	7.610
UNIT 29	6.715	95.000	N07°23'50"E	7.610
UNIT 30	6.715	95.000	N07°23'50"E	7.610
UNIT 31	6.715	95.000	N07°23'50"E	7.610
UNIT 32	6.715	95.000	N07°23'50"E	7.610
UNIT 33	6.715	95.000	N07°23'50"E	7.610

Conditions of Draft Approval

2040771 Ontario Inc.

Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway

This draft approval and conditions apply to the draft plan of vacant land condominium (“the plan”) submitted by 2040771 Ontario Inc (the “Owner”) for their property described as Part of Lot 5 Concession C, on Registered Plan 7R-5321, Town of Orangeville, County of Dufferin bearing a Surveyor’s certificate dated August 13, 2020, and showing 33 condominium townhouses units, easements, and common elements including a road, visitor parking and parkette.

Agreement

1. That prior to final approval of the plan, the Owner enters into a Site Plan Agreement, and such other agreements as may be required or appropriate, to satisfy all of the requirements, financial and otherwise of the Town of Orangeville (the “Town”) with respect to the development.

Zoning

2. That the final plan conforms to the amending zoning by-law enacted by the Town, and that this condition is considered capable of fulfillment only once the amending zoning by-law is in force with all levels of appeal exhausted.
3. That prior to final approval of the plan, the Owner will provide a surveyor's certificate indicating the areas and frontages of all vacant land units in the plan, for the purpose of demonstrating the conformity of the units with the Zoning By-law.
4. That the Owner agrees in the Site Plan Agreement, to submit as-constructed drawings to demonstrate to the satisfaction of the Town, that the townhouse units and common-element areas comply with the final condominium plan, and any site plan(s) (inclusive of any associated plans, drawings or reports) approved in accordance with Section 41 of the Planning Act.

Landscaping and Fencing

5. That prior to final approval of the plan, the Owner shall submit to the satisfaction of the Town, a Landscape Plan prepared by a suitably accredited landscape architect.

6. That the Owner agrees, in the Site Plan Agreement, to implement the approved Landscape Plan and to install fencing as identified by Town staff through the Site Plan review process.

Noise Study

7. That, prior to final approval of the plan, the Owner agrees to update the Noise Study, prepared by S.S. Wilson Associates dated July 4, 2019.
8. That the Owner agrees in the Site Plan Agreement to implement the recommendations of the approved acoustical and/or vibration report, including any required warning clauses in the Declaration and all offers of purchase and sale/lease for lots within this plan.

Servicing

9. That no works or servicing occur on the site until the Owner has made arrangements satisfactory to the Town, including, but not necessarily limited to, the posting of securities for the desired works and services and/or the fulfillment of the requirements of the Town's Topsoil Removal By-law (By-law 15-92) and/or other permits as may be required by the Town of Orangeville and the County of Dufferin.
10. That prior to final approval of the plan, the Town will allocate water supply and sewage treatment capacity to the development. This allocation will not be made until such time as the Town is satisfied that there is adequate water supply and sewage treatment capacity to service the proposed development.

Engineering

11. That prior to final approval of the plan, the Owner agrees to have prepared by a qualified Professional Engineer(s) and submitted to the Town of Orangeville for approval, the following reports:
 - a) Functional Servicing Report that addresses water distribution, sanitary sewer collection, storm sewage collection and stormwater management to confirm that the existing municipal services are adequately sized to accommodate the demands associated with the proposed development;
 - b) Stormwater Management Implementation Report to be completed that must address quality and quantity control of post-development flows up to and including the 100-year storm and demonstrate how the Regional Storm will be conveyed through the development via overland flow routes. The report will describe in detail the means whereby stormwater will be conducted from the site to a receiving body and also the means whereby erosion, sedimentation, and their effects will be contained and minimized on the site both during and after the construction period; and

- c) Siltation, Sedimentation and Erosion Control Report to provide recommendations for the control, maintenance, and monitoring of sediment during all phases of construction and to address erosion control issues specific to the Site Plan.
12. That the Owner agree to prepare, to the satisfaction of the General Manager Public Works, an information brochure advising of the existence and function of the soakaway pits. Further, the Owner agrees to include a clause in the Site Plan Agreement requiring the Owner to provide copies of the approved brochure to all homeowners.
13. That, prior to final approval of the plan and prior to the commencement of any site grading or servicing works, the Owner shall provide, or cause to be provided, a detailed engineering submission be prepared to the satisfaction of the Town, which will describe:
- a) the means whereby stormwater will be conducted from the site to a receiving body; and,
 - b) the means whereby erosion, sedimentation and their effects will be contained and minimized on the site both during and after the construction period.

The detailed engineering submission will include a report that will cover water distribution, sanitary collection, storm sewers, and stormwater management to confirm that the existing municipal services are adequately sized to accommodate the additional demand associated with the proposed development.

External Works

14. That the Owner agrees in the Site Plan Agreement to design, construct and maintain a pedestrian trail connecting to the existing trail within the adjacent Block 21, Plan 7M-25 to the satisfaction of the Town.

Transportation

15. That the Owner agrees in the Site Plan Agreement to implement the recommendations of the approved traffic study prepared by R.J. Burnside & Associates Limited dated July 2019.

Hydrogeology

16. That the Owner agrees in the Site Plan Agreement to implement the recommendations of the Water Balance Brief prepared by Urbtech Engineering Inc. dated June 1, 2020.

Plan Modifications and Conveyances

17. That in the Site Plan Agreement the Owner acknowledges that the Condominium Corporation is responsible for the maintenance of the water and sanitary pipes from the development to the mainline sewer and watermain on Dinnick Crescent (Block 73 on Registered Plan 7M-44).
18. That satisfactory land for the purposes of road widening be conveyed to the County of Dufferin (the "County") free of charge and encumbrance as identified on the Plan of Condominium.
19. That all 0.3 metre reserves, as may be required by the Town and the County upon the review of the final engineering drawings, be shown on the plan and conveyed to the Town free of charge and encumbrance.
20. That any daylight triangles, as may be required by the Town and/or County upon the review of the final engineering drawings, be shown on the plan and conveyed to the Town free of charge and encumbrance to improve visibility.

Parkland

21. That the Owner agrees in the Site Plan Agreement to satisfy the parkland dedication requirements of the Planning Act by making a cash-in-lieu of parkland payment to the Town, the amount of which will be calculated in accordance with the provisions of the Act and the Town's Parkland Dedication By-law 41-2012.

Planning

22. That the Owner shall demonstrate to the satisfaction of the General Manager of Infrastructure Services that the common element areas of the site comply in all respects to any site plan(s) approved by the Town in accordance with Section 41 of the Planning Act (inclusive of all associated drawings and reports), and the requirements of any Site Plan Agreement registered on title, prior to the registration of the Plan of Condominium.
23. That prior to the registration of the Plan of Condominium, the Owner shall provide to the Town a copy of the proposed condominium Declaration and description that will be registered. The Declaration shall contain appropriate provisions setting out responsibility for maintaining, repairing and replacing services which serve:
 - a) More than one unit, whether or not those services are within the common elements or within a unit;

- b) An owner's unit only, that are located within the owner's unit or another unit;
and
- c) The owner's unit only, that are located within the common elements.

Water Conservation and Energy Efficiency

- 24. That prior to final approval of the plan, the Owner shall submit to the satisfaction of the Town, a Water Conservation Plan, which provides an analysis and recommendations for strategies including water efficient landscaping, water efficient fixtures and appliances, that reduce potable water consumption on average for all units within the Plan, by a minimum of 20% lower than the Ontario baseline average residential per capita daily water usage rate for the five (5) year period from 2013 to 2017.
- 25. That prior to final approval of the plan, the Owner shall submit to the satisfaction of the Town, an Energy Efficiency Assessment, which demonstrates how the units in the plan can achieve on average, an overall minimum 10% reduction in energy consumption relative to the Ontario Building Code requirements in effect as of the date of this draft approval of the plan.

Utilities

- 26. That the Owner will make satisfactory arrangements with Bell Canada, Rogers Cable or other telecom providers, Enbridge Gas, and Orangeville Hydro to ensure the appropriate utility distribution and servicing of this development including the provision of any easements required by the Town to accommodate the servicing.
- 27. That the Owner agrees, in the Site Plan Agreement, to prominently display or cause to be displayed an above-ground utility plan on a wall of the sales office, once finalized and signed by the General Manager of Infrastructure Services, showing the locations of all catch basins, hydro transformers, utility boxes, street lights, and fire hydrants within the development.

Display Mapping

- 28. That the Owner agrees, in the Site Plan Agreement, that prior to executing any offer of purchase and sale with prospective purchasers, the Owner shall prepare and prominently display or cause to be displayed a plan on a wall of the sales office, or made available digitally, to the satisfaction of the Town, showing the following information:

For the Lands within the Plan

- a) the type, location and material of all required fencing (including noise);
- b) all sidewalks and trailways;
- c) all landscape features, amenities and surface treatments within the Common Elements;
- d) All easements and their respective purpose;
- e) Community mailbox location(s);
- f) Visitor parking areas;
- g) no parking provisions for all roads; and
- h) the following statement in **bold type**:

“This map is based on information available as of (date) and may be revised without notification to purchasers.”

For all lands within 100 metres of the development

- a) any existing or proposed open space, park or stormwater management blocks and trailways;
 - b) the land use designation of lands in accordance with the Town’s Official Plan and Zoning By-law;
 - c) any major easements (i.e. Hydro corridors, Trans Canada Pipelines, etc.); and,
 - d) any arterial and collector roads including the number of lanes.
29. That the Owner agrees, in the Site Plan Agreement, that it will update or cause to be updated, the Display Plan, at its expense, from time to time, as conditions change and as required by the Town, and will submit the revised plan to the Town for prior approval.
30. That the Owner agrees, in the Site Plan Agreement, to prominently display or cause to be displayed an above-ground utility plan on a wall of the sales office, once finalized and signed by the General Manager of Infrastructure, showing the locations of all catch basins, hydro transformers, utility boxes, street lights, and fire hydrants within the development.
31. In the alternative, if a sales office does not exist, the Owner shall provide evidence that the Sales Office Plan has been included in all promotional advertising material (i.e. brochures, websites, etc.), to the satisfaction of the Town.

Warning Clauses

Town of Orangeville

32. That the Owner agrees to include the following warning clauses in the Declaration and all offers of purchase and sale/lease for lots within this plan:
- a) "The purchaser acknowledges that mail delivery to this development and/or lot will be provided from a Community Mailbox, to be located within the development."
 - b) "The purchaser acknowledges that the parking is prohibited on all private roads within this development."
 - c) "The purchaser acknowledges that visitor parking spaces are for the sole use of visitors."
 - d) "The purchaser acknowledges that the internal streets are not maintained by the Town and are the responsibility of the Condominium Corporation."
 - e) "The purchaser acknowledges that those lot abutting open space lands, are owned by the Town of Orangeville. The Town will manage these lands as a protected natural area that will not receive landscaping maintenance. Uses such as private picnic, barbeque or garden areas; storage of materials and/or dumping of refuse or ploughed snow; cutting or removal of vegetation are not permitted on these lands. In addition, direct access through such means as private rear yard gates is prohibited"

Canada Post

33. The Owner/Developer will consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans;
34. The Builder/Owner/Developer will confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not be in conflict with any other utility; including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads;
35. The Owner/Developer will install concrete pads at each of the Community Mailbox locations as well as any required walkways across the boulevard and any required curb depressions for wheelchair access as per Canada Post's concrete pad specification drawings;
36. The Owner/Developer will agree to prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community

Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox pads. This area will be required to be prepared a minimum of 30 days prior to the date of first occupancy;

37. The Owner/Developer will communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy;
38. The Owner/Developer agrees, prior to offering any of the residential units for sale, to place a "Display Map" on the wall of the sales office in a place readily available to the public which indicates the location of all Canada Post Community Mailbox site locations, as approved by Canada Post and the Town of Orangeville;
39. The Owner/Developer agrees to include in all offers of purchase and sale a statement, which advises the prospective new home purchaser that mail delivery will be from a designated Community Mailbox, and to include the exact locations (list of lot #s) of each of these Community Mailbox locations; and further, advise any affected homeowners of any established easements granted to Canada Post;
40. The Owner/Developer will be responsible for officially notifying the purchasers of the exact Community Mailbox locations prior to the closing of any home sales with specific clauses in the Purchase offer, on which the homeowners do a sign off.

Upper Grand District School Board

41. That the Owner shall agree in the Site Plan Agreement that adequate sidewalks, lighting and snow removal (on sidewalks and walkways) will be provided to allow children to walk safely to school to a designated bus pickup point.
42. That the Owner and the Upper Grand District School Board shall reach an agreement regarding the supply and erection of a sign (at the developer's expense and according to the Board's specifications) and affixed to the permanent development sign advising prospective residents about schools in the area.
43. That the Owner agrees in the Site Plan Agreement and Condominium Declaration to advise all purchasers of residential units and/or renters of same, by inserting the following clause in all offers of Purchase and Sale/Lease:

"In order to limit liability, public school buses operated by the Service de Transport de Wellington-Dufferin Student Transportation Services (STWDSTS),

or its assigns or successors, will not travel on privately owned or maintained right-of-ways to pick up students, and potential busing students will be required to meet the bus at a congregated bus pick-up point.”

Rogers

44. That prior to registration of the Plan of Condominium, the developer/owner will, at its own cost, grant all necessary easements and maintenance agreements required by those CRTC-licensed telecommunications companies and broadcasting distribution companies intending to serve the Subdivision (collectively the "Communications Service Providers"). Immediately following registration of the Plan of Subdivision, the developer/owner will cause these documents to be registered on title.
45. That prior to registration of the Plan of Condominium, the developer/owner will, with consultation with the applicable utilities and Communications Service Providers, prepare an overall utility distribution plan that shows the locations of all utility infrastructure for the Subdivision, as well as the timing and phasing of installation.

Dufferin Peel Catholic District School Board

46. That the Owner shall agree in the Site Plan Agreement to include the following warning clauses in the Deceleration and all offers of purchase and sale/lease of residential lots:
 - a) “Whereas, despite the best efforts of the Dufferin-Peel Catholic District School Board, sufficient accommodation may not be available for all anticipated students from the area, you are hereby notified that students may be accommodated in temporary facilities and/or bussed to a school outside of the neighbourhood, and further, that students may later may be transferred to the neighbourhood school.”
 - b) “That the purchasers agree that for the purpose of transportation to school, the residents of the subdivision shall agree that children will meet the bus on roads presently in existence or at another place designated by the Board.”

Enbridge

47. The applicant shall contact Enbridge Gas Inc.’s Customer Connections department by emailing SalesArea20@Enbridge.com to determine gas availability, service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping (including, but not limited to: tree planting, silva cells, and/or soil trenches) and/or asphalt paving.
48. In the event that easement(s) are required to service this development, and any future adjacent developments, the applicant will provide the easement(s) to Enbridge Gas Inc. at no cost.

Bell Canada

49. The Owner shall indicate in the Agreement, in words satisfactory to Bell Canada, that it will grant to Bell Canada any easements that may be required, which may include a blanket easement, for communication/telecommunication infrastructure. In the event of any conflict with existing Bell Canada facilities or easements, the Owner shall be responsible for the relocation of such facilities or easements.

Clearances

50. Prior to the registration of the final plan, clearance will be required from the following agencies to indicate that their conditions have been satisfied:
- a) Upper Grand District School Board
 - b) Dufferin-Peel Catholic District School Board
 - c) Orangeville Hydro
 - d) Rogers Cable, Bell Canada and/or other telecom companies
 - e) Enbridge
 - f) Canada Post
51. Prior to the Town's final approval of the Plan of Condominium, the Town shall be comprehensively advised in writing by the Owner how conditions 1 through 50 have been satisfied or acknowledged, whatever the case shall be.

Lapsing

52. That this draft approval shall lapse if the plan has not been registered within three years of the Council decision or in the event of an appeal, within a period of three years from the date of a Local Planning Appeal Tribunal (LPAT) order approving the draft plan. The Town may grant an extension of draft approval at its discretion.

Subject: Water Works Capital Projects - Update

Department: Infrastructure Services

Division: Environment

Report #: INS-2020-011

Meeting Date: 2020-12-14

Recommendations

That Report INS-2020-011, Water Works Capital Projects - Update, be received.

Background and Analysis

There is currently a backlog of approved water works capital projects that have not yet commenced. A total of four significant projects are currently on hold. This report speaks to the reasons for this backlog and provides Council with an estimate of when these projects may proceed.

The four projects are as follows:

Well 5/5A Building and Drainage: This project was approved with a budget of \$455,000 as part of the 2014 capital budget. Wells 5 and 5A are located west of Veterans Way and north of the Greenwood Cemetery. Occasionally during spring thaw or significant rainfall events, the area around the two wells has experienced flooding. The well house is old and includes no flood proofing, leading to operational challenges during flooding events. This project involves the design and construction of drainage and well house improvements.

Well 7 Filtration Equipment: This project was approved for a total of \$124,000 as part of both the 2012 and 2014 capital budgets. Well 7 is located in Ryan Meadows Park just off of Meadow Drive. While the water supply from Well 7 meets the provincial aesthetic objectives for iron, reducing or removing the naturally occurring iron at the source will minimize water quality complaints and significantly reduce the amount of water main flushing required. The funds allocated are for analysis and design only – additional funds will be required for construction as part of a future capital budget.

United Lands Well Decommissioning Study: This project was approved with a budget of \$50,000 as part of the 2016 capital budget. Many years ago while searching

for a new water supply source, a developer drilled a well in what is now Open Space land south of the Settlers Creek development. This project involved retaining professional hydrogeological services to assist with the development of a management or decommissioning plan for this well.

GUDI Well Treatment Upgrades: This project was approved for a total of \$975,000 as part of both the 2016 and 2019 capital budgets. Through the Municipal Drinking Water License and Drinking Water Works Permit renewal process in 2015, the Ministry of Environment and Climate Change advised the Town that additional disinfection would be required to meet the treatment requirements of the Safe Drinking Water Act, 2002. These upgrades involve ensuring sufficient chlorine contact time at Wells 2A, 5, 5A, 8B, 8C, 9A, 9B, 10, and 12. Engineering and SCADA programming services are required to assess the optimum capital and operating improvements needed to meet this regulatory requirement. Note that in the interim, the Town has met the requirement for additional disinfection by increasing the concentration of chlorine in the drinking water from each of these wells.

There are several factors that have resulted in these projects have been put on hold, including staffing challenges, focus on other high priority projects and initiatives and the sudden loss of capacity at Well 6 in 2018.

The 2016 Operating Budget included a Service Level Change to add a Project Technologist position to manage water and waste water capital projects. The need for this additional position became apparent in the preceding years as these projects were delayed while staff prioritized other initiatives. The expansion and upgrades at the Water Pollution Control Plant, the replacement of the Roof of Digester No. 1, securing access to the Pullen Well and the initiation of a Risk Management Office to implement the policies of the Source Water Protection Plan were all high priority initiatives that were prioritized by staff. While Council approved the addition of the Project Technologist position, challenges with recruiting delayed hiring until 2019.

It should also be noted that the Project Technologist currently does not focus solely on water and waste water capital projects as envisioned due to involvement with other departmental priorities, such as transit. The draft 2021 Operating Budget includes a proposed Service Level Change to add an Engineering Technician to the Infrastructure Services department to assist in a number of areas, including transit and water works compliance. This additional staff member would minimize the likelihood that the Project Technologist would be drawn into other matters.

As noted above, another reason for project delays was the issue that arose at Well 6 in the fall of 2018. Turbidity issues were encountered at Well 6 which resulted in a significant loss of capacity. The sudden onset of this issue and the possibility of the situation worsening made staff reluctant to commence a capital project that would require that another well be taken off line for a significant period of time.

The four projects identified above are still required, however the context for some of these projects has changed. The GUDI Well Upgrades that are required for Wells 5 and 5A will be undertaken in conjunction with the Well 5 Building and Drainage project. In addition, it should be noted that the pre-design work associated with the rehabilitation of the West Sector Reservoir (WSR) and the Standpipe is now underway. The consultant has identified concerns about the possibility of interruptions in water service in Zone 4 while the WSR is out of service. One of the options to reduce the likelihood of service interruptions would be to move ahead with the Well 5 GUDI Well Upgrades prior to removing the WSR from service.

The available water supply from the Town's twelve water supply wells has decreased by approximately 1,000 m³/day since 2018. This is due primarily to turbidity issues encountered at Well 6 in fall 2018 and the need to reduce the taking at both Wells 11 and 2A due to increased draw down during pumping. A capital project will be included in the draft 2021 capital budget to evaluate the status of our existing wells and provide recommendations to re-establish lost capacity. This project will evaluate all options for increasing our supply capacity, including the possibility of increasing the permitted taking at Well 7, and re-evaluating the United Lands Well as a potential source of supply. If it is determined that the rate of taking from Well 7 can be increased, filtration equipment will be designed for the new rate and installed as part of the modifications to the well and associated infrastructure to implement the new rate of taking.

Thus, the timing of the four projects identified above will be dictated, in part, by the results of other projects. Staff will report to Council with additional information and request additional approvals as these projects proceed.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Sustainable Infrastructure

Objective: Maintain Existing Assets

Sustainable Neighbourhood Action Plan

Theme: Natural Resources and Environment

Strategy: Continue to provide access to safe drinking water that meets the needs of the community

Notice Provisions

None.

Financial Impact

There is no financial impact associated with this report. However, the scope of the projects identified in this report may change as a result of the outcome of other work. Staff will report on any such changes and request additional funds if necessary.

Respectfully submitted

Douglas G. Jones, M.E.Sc., P.Eng.
General Manager, Infrastructure Services

Subject: Faulkner Street – Sunset Drive Sidewalk Options

Department: Infrastructure Services

Division: Public Works

Report #: INS-2020-013

Meeting Date: 2020-12-14

Recommendations

That Report INS-2020-013, Faulkner Street – Sunset Drive Sidewalk Options be received;

And that Option _ be included as a project in the draft 2021 Capital Budget.

Background

The agenda for the November 9, 2020 Council meeting included a petition requesting that Council approve the installation of a sidewalk on Faulkner Street. As a result of this petition Council passed the following motion:

That a petition from Sylvia Bradley be received.

That Staff report back to Council on a plan for implementation of a sidewalk on Faulkner Street and the projected costs of the installation; and

That consideration of this sidewalk installation on Faulkner Street be included in the 2021 Budget for Council consideration.

This report provides three options for sidewalks in this area, the anticipated cost of implementation of each option and information on the Town's Sidewalk Policy.

Analysis

Policy Context

The Forest Park Subdivision (the Subdivision) is made up of Sunset Drive, Northgate Drive, Forest Park Road and Glenforest Road, generally located north of Fead Street

and west of First Street. There is only one road leading into and out of the subdivision, resulting in low traffic volumes consisting almost exclusively of subdivision residents.

The Subdivision was constructed without sidewalks. The Town's Sidewalk Policy (the Policy), which is included as Attachment No. 1 states, in part, that all local roads should include a sidewalk on one side of the street. The Policy recognizes that many roads, especially in the older areas of Town, do not include sidewalks. The Policy states that when it comes time to reconstruct a road that has no sidewalk, a new sidewalk will be included in the initial design plan. The inclusion of a new sidewalk in the final design of any given project is subject to several factors, including public input, Council input, site topography and utility conflicts.

In those instances where reconstruction is not planned for a road that does not include a sidewalk, Council may choose to initiate a capital project to add a sidewalk on a case-by-case basis. The Policy requires, however, that prior to final approval of any new sidewalks in an existing neighbourhood, all affected property owners within the limits of construction will be given an opportunity to comment and/or attend a Public Information Centre at which the Town will present options. The results of the public consultation are to be made available to Council prior to final approval.

Complaint History

The petition that was presented to Council at its meeting on November 9, 2020 notes that this location is a safety concern for residents, including students walking to school at Orangeville District Secondary School (ODSS) and Princess Elizabeth Public School (PEPS). Infrastructure Services staff cannot recall receiving safety concerns regarding this location from anyone other than the author of the petition. In an effort to gauge the level of concern, staff contacted the Principals of both ODSS and PEPS prior to the November 9, 2020 Council meeting. Neither of these two Administrators could recall this are being identified by parents or students as an issue.

Options

Staff have evaluated three options for providing a sidewalk in this area (see Attachment No. 2:

- Option 1: an 80 m section of sidewalk commencing at the north driveway into ODSS and ending across from the T-intersection of Faulkner Street and Sunset Drive, ending mid-block – estimated cost \$47,000;
- Option 2: a 290 m section of sidewalk commencing at the north driveway into ODSS and ending at the T-intersection of Sunset Drive and Northgate Drive – estimated cost \$123,000; and
- Option 3: a 390 m section of sidewalk commencing at the north driveway into ODSS and ending at the intersection of Northgate Drive and Forest Park Road immediately across from the walkway connecting this intersection to Goldgate Crescent.

The first option is the least expensive and would address the safety concern noted in the petition regarding pedestrians on the curve in the road abutting 24 Faulkner Street. However the implementation of this option would result in the sidewalk ending mid-block, providing no sidewalk connectivity. The Sustainable Neighbourhood Action Plan (SNAP) includes a strategy that speaks to increasing connectivity. If funds are to be allocated to a sidewalk in this area, consideration should be given to a sidewalk that meets the intent of the SNAP. Pedestrians using the sidewalk may also continue to walk on the boulevard beyond the end of the sidewalk, potentially causing concern for property owners. It will also be awkward for winter maintenance with the sidewalk ending mid-block. This option could be implemented with a minimal amount of public consultation as it directly impacts only two property owners.

The second option would also address the safety concern noted in the petition, but with the added benefit of not resulting a sidewalk that ends mid-block. While this option would provide a sidewalk for a significant portion of the Subdivision, it would not provide connectivity to the remainder of the Town's sidewalks. It is also more expensive than the first option and will impact more property owners. The Policy requires that all directly impacted property owners be consulted prior to final approval.

The third option addresses the safety concern noted in the petition and provides sidewalk connectivity to the Town's sidewalk network. It is consistent with the intent of the Policy and the SNAP in that it would complete a missing link in the Town's sidewalk network. However it is the most expensive option and will impact the greatest number of property owners. The Policy requires that all directly impacted property owners be consulted prior to final approval.

Cost estimates for all three options assumed the construction of a 1.8 m wide curb-faced sidewalk and include allowances for moving light standards and utilities.

Note that winter maintenance of curb-faced sidewalk requires more effort than sidewalks that are offset from the road as it is necessary to remove the snow off site to avoid simply plowing it back onto the road.

Next Steps

If Council chooses to proceed with one of the three options described above, staff will include a project in the draft 2021 Capital Budget for Council's further consideration during the budget process.

Strategic Alignment

Orangeville Forward – Strategic Plan

Priority Area: Sustainable Infrastructure

Objective: Provide systems that keep people moving

Sustainable Neighbourhood Action Plan

Theme: Transportation System

Strategy: Promote walking and biking by increasing the connectivity and safety of active transportation infrastructure

Notice Provisions

The Policy requires that all property owners that would be directly impacted by the installation of a new sidewalk through an existing neighbourhood be consulted. The outcome of the consultation process is to be considered by Council prior to final approval.

Financial Impact

The construction of a new sidewalk in accordance with one of the three options will result in the Town incurring costs as listed above.

Respectfully submitted

Douglas G. Jones, M.E.Sc., P.Eng.
General Manager, Infrastructure Services

Attachments:

1. Town of Orangeville Sidewalk Policy, December 2011
2. Faulkner Street – Sunset Drive Sidewalk Options

Town of Orangeville

Sidewalk Policy

December 2011

Adopted by Council on December 12, 2011

Sidewalk Policy Statement

The purpose of this policy is to establish a standard approach to locating and constructing sidewalks in Orangeville, in association with new road development and road reconstruction and to set clear and equitable priorities for spending the annual sidewalk budget in the best interest of taxpayers.

This policy establishes guidelines for the provision of new sidewalks in the Town of Orangeville and supports the basic transportation principles of accessibility, equity, health and well-being, environmental sustainability and community cohesion and vitality. A comprehensive sidewalk policy will ensure that consideration is given to pedestrian safety and needs, and implements the policies set out in the Official Plan.

History of Sidewalks in New Developments

Prior to the late 1990's, the design standard generally used for local roads was a 20 metre wide right-of-way (ROW), with a 1.2 metre wide sidewalk on one side of the street and an 8.0 m wide asphalt driving surface. Collector roads (i.e. 26 to 30 metre wide ROW's) were to be constructed with a 1.5 m sidewalk on both sides of the street.

In 1997 the current 18.5 metre wide local ROW design standard was introduced. The narrower road standard was developed in consultation with the development community to create a more efficient use of land and configuration of utilities in new development areas. With the 18.5m standard, a wider 1.5 m sidewalk could still be included on one side of the local roads while maintaining the required 8.0 m width of asphalt necessary for snow storage. The standards for collector roads with 26 m and 30 m ROWs continue to have a sidewalk on each side.

The 18.5 metre wide local road standard remains in place, with 8.0 m of asphalt for snow storage and a 1.5 m wide sidewalk, with project specific adjustments being made as required. This standard forms the basis for setting out the layout for all new local roads.

Lot Sizing and On-Street Parking

Over time, average lot sizes for all unit types in Orangeville have decreased. With reduced widths zoning requirements have been adjusted to bring dwellings closer to the street. While it works to maintain the size of the rear yard areas of the lots and it results in a better neighbourhood aesthetic as it reduces the garage-dominance of housing on the streetscape, it results in off-street (driveway) parking limitations as the dwellings are now closer to the street thereby shortening the length of driveways. With the evolution of subdivision design and the presence of a sidewalk only on one side of local roads (on the side of the street without the fire hydrants), home owners are often able to park vehicles in tandem, between the garage and the curb; this typically cannot be done on the side of the street with the sidewalk. This has evolved into a restriction of on-street parking to one side of the street only, i.e. the side without the sidewalk. That is also the side where fire hydrants, and other street furniture such as transformers and bell

pedestals, are typically installed. This situation results in one that is safer for pedestrians and vehicles as it improves visibility for motorists while keeping one side open for emergency vehicles.

The Provincial Policy Statement and the Provincial Growth Plan both encourage development with increased density. One simple way to increase the development density of a residential subdivision, while not affecting lot or unit sizes, is to reduce the amount of land required for municipal roads. As noted above, the use of the 18.5 metre ROW for local roads reduces the land needed for new development while still accommodating the above and below ground infrastructure needs. As the Town approaches build-out of the remaining greenfield areas, there will be more pressure and requirement to utilize development lands more efficiently.

Current Planning Context

The Official Plan (OP) is supportive of ongoing efforts to support modes of transportation other than private vehicles, walking in particular, for a number of health and environmental reasons. The policies of the OP set the framework for the review and consideration of all manner of development applications.

Section G of the OP supports the development of *“a transportation system that minimizes impact on the environment”* (S. G5.4) and the creation of *“an environment conducive to cycling and pedestrian circulation”* (S. G8.1). The OP also requires that the Town: *“...consider ways to incorporate amenities and features for pedestrians and cyclists... [including] the provision of sidewalks, bike lanes and off-street linkages and trails”* (S. G8.6). It is clearly stated that the promotion and encouragement of walking for recreation and transportation is very important to the sustainability and health of the community. Providing sidewalks in new developments implements this policy direction.

The predominant consideration in the technical design of the thoroughfare for local residential streets is the achievement of:

- safe and deliberate traffic flows within communities;
- balancing the needs of pedestrians, cyclists, vehicles and emergency vehicles; and
- the protection and safety of all road right-of-way users.

In evaluating the design of new development projects, Council will consider ways to incorporate amenities and features for pedestrians and cyclists.

This includes the provision of sidewalks, bike lanes and off-street linkages and trails. Council will also encourage the use of materials and designs which reduce the risk of injuries and accidents to pedestrians and cyclists.

It is the Town's goal to: 1) provide a transportation network for the safe and efficient movement of people and goods within and through the Municipality; 2) encourage a reduction in the dependence on the use of motor vehicles; and, 3) encourage active

transportation alternatives through the introduction or extension of such things as bicycle lanes, multi-purpose trails, sidewalks and public transit opportunities that provide safe, comfortable travel opportunities within existing communities and new neighbourhoods.

Schedule "E" of the Official Plan is the Roads Plan for the Town of Orangeville. Schedule "E" provides guidance for obtaining road dedications and widening of road allowances as a condition of approval of plans of subdivision, consents, or site plans. The roads of the community are classified as follows:

Provincial Highways

Provincial Highways are primary roads that connect the Town to the provincial highway network. The Town will circulate development proposals affecting provincial highways to the Ministry of Transportation (MTO) for review and comment, in accordance with MTO policy.

Arterial Roads

Arterial roads are intended to facilitate traffic movement between major land use activities, as well as accommodate through traffic. Access to arterial roads shall be restricted in order to facilitate the through traffic function. Arterial road allowances range from 30 to 45 metres in width, and are capable of accommodating four lanes of traffic, as well as turning lanes.

Arterial roads shall be designed to accommodate a 1.5m wide sidewalk on each side of the road allowance, wherever possible and/or feasible. A 2.5 metre wide asphalt trailway, designed and constructed to the Town's trail standards as set out in the Trails Master Plan, may be substituted for one or both of the sidewalks if connections between trail segments are desired/required.

Collector Roads

Collector roads facilitate traffic within and between neighbourhoods and new development areas and connect to the arterial road system. Collector roads reduce traffic on local streets and provide a range of access options. Major Collector road allowances are up to 30 metres in width and are able to accommodate two lanes of traffic, as well as bike lanes and centre turning lanes. Minor Collector road allowances are up to 26 metres in width and are able to accommodate two lanes of traffic, as well as bike lanes and centre turning lanes.

Collector roads in, adjacent to or connecting residential areas shall be designed to accommodate a 1.5m wide sidewalk on each side of the road allowance, wherever possible and/or feasible. A 2.5 metre wide asphalt trailway, designed and constructed to the Town's trail standards as set out in the Trails Master Plan, may be substituted for one or both of the sidewalks if connections between trail segments are desired/required.

Local Roads

Local roads allow access to abutting properties and are designed to provide for a fine grain of local access and connectivity but discourage through traffic. Road allowances may range from 18.5 to 20 metres.

Local roads in, adjacent to or connecting residential areas shall be designed to accommodate a 1.5m wide sidewalk on one side of the road allowance, wherever possible and/or feasible. A 2.5 metre wide asphalt trailway, designed and constructed to the Town's trail standards as set out in the Trails Master Plan, may be substituted the sidewalk if connections between trail segments are desired/required.

Summary Table

Road Type	S/W Requirement	Alternative
Local Road	1.5m wide, one side	2.5m wide asphalt trail, one side
Minor Collector Road	1.5m wide, both sides	2.5m wide asphalt trail, one or both sides
Major Collector Road	1.5m wide, both sides	2.5m wide asphalt trail, one or both sides
Arterial Road	1.5m wide, both sides	2.5m wide asphalt trail, one or both sides

Construction of sidewalks in non-residential areas

Sidewalks will only be necessary in areas of pedestrian traffic or on walking routes to and from or between school/residential areas.

Generally, areas where there are both high pedestrian and high motor vehicle use are high priorities when establishing the need for sidewalks. Employment areas, commercial establishments, Schools, Hospitals, Nursing Homes, Seniors Complexes and Recreation Facilities generate the highest intensity of pedestrian traffic, thus giving these areas a higher priority for the introduction of sidewalks outside of residential areas. Roads with high traffic volumes that include arterials, major and minor collectors, Provincial and County Roads become difficult to cross, especially for children and handicapped pedestrians which would carry a higher priority for the provision of sidewalks.

Construction Considerations

General Construction Standards

- Sidewalks will be typically constructed of poured concrete and be a minimum of 1.5 m wide;

- Sidewalk construction is to conform to the Town of Orangeville and Ontario Provincial Standard Drawings (OPSD) standards;
- Wheel chair accessible ramps will be built at all intersections where construction takes place with grooves for the visually impaired (OPSD standard);
- Sidewalks are to be generally located on the side of the local road which permits on street vehicular parking;
- Sidewalks are to be generally located on the side of the street which does not have the majority of utilities (i.e. watermain, hydrants, hydro boxes, etc.);
- Where specific needs are identified, increased sidewalk widths may be required; and
- In site-specific situations where a physical barrier prevents the construction of a sidewalk(s) on a new street, Council may grant an exemption to this policy.

Missing Sidewalk Links

Many road allowances, especially in the older areas of the community, do not include sidewalks. In those neighbourhoods, when it comes time to reconstruct the roadway, the Town will endeavour to include new sidewalks in the design on one side of all local roads and two sides of collector roads. While these sidewalks are proposed, their inclusion in the final design of any given project is subject to several factors, including public input, Council input, site topography and other area specific requirements or factors such as, but not limited to, the width of the road allowance and the availability of space to accommodate a sidewalk(s).

In those instances where reconstruction is not planned for a road that does not include a sidewalk, Council may choose to initiate a capital project to add a sidewalk(s) on a case-by-case basis, and subject to available funding.

Public consultation

Prior to final approval of construction of new sidewalks in the existing built up area, where they didn't previously exist, all affected property owners within the limits of construction will be given an opportunity to comment and/or attend a Public Information Centre at which the Town will present options.

The results of the questionnaire and/or Public Meeting will be made available to Town Council before final approval is granted to proceed with the road/utility/sidewalk construction project.

Where sidewalks are not required

Sidewalks may not be required to be constructed where it has been determined that:

- there is insufficient pedestrian traffic and/or;
- significant man-made or natural obstacles exist and/or;

- the introduction of a sidewalk(s) would be cost prohibitive or not in the public interest.

Summary and Conclusions

It is the Town's practice in new residential developments to require the provision of sidewalks on one side of all local roads and both sides of collector and arterial roads. This approach, which has been in place since 1997:

- expands the pedestrian network as the community grows;
- supports the Official Plan policies with respect to encouraging active transportation choices and healthier social and natural environments;
- allows for a more efficient use of land as it maximizes residential development density and lot yield in greenfield development areas; and;
- provides home purchasers with a choice as to whether they prefer to have a sidewalk across the frontage of their house or a more useable length of driveway.

For road reconstruction projects, it is the Town's practice to reconstruct sidewalks where they currently exist, and propose new sidewalks and connecting links on roads where there is no sidewalk as appropriate, and in accordance with the provisions of this policy.

The maintenance of the existing sidewalk network and the timely provision of new sidewalks as the community grows is essential to ensuring pedestrian safety, encouraging healthy lifestyles, providing convenient and connected transportation choices, and reducing the community's overall ecological footprint.

Faulkner Street – Sunset Drive Sidewalk Options

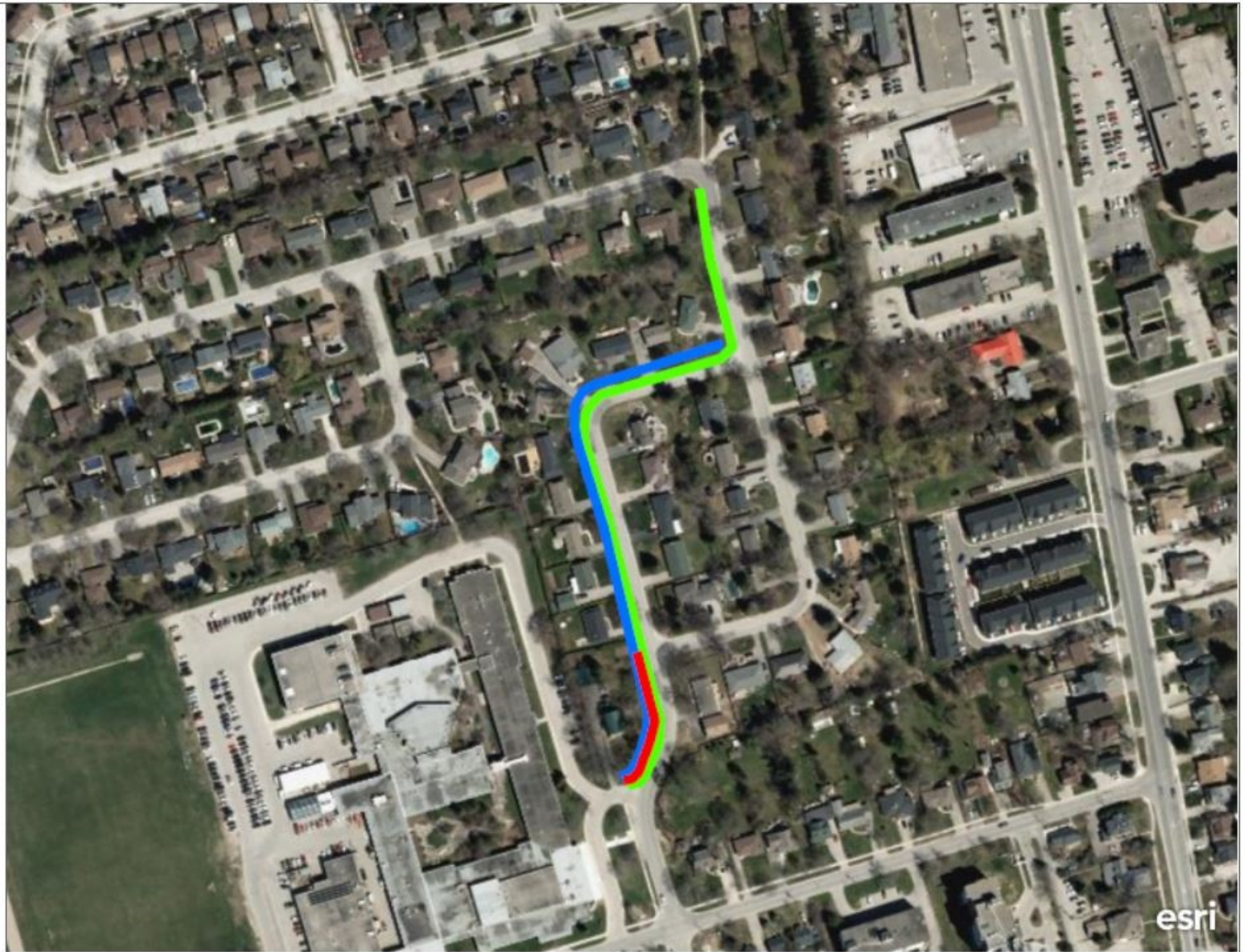
Option 1: Sunset Drive



Option 2: Sunset -
Sunset/Northgate



Option 3:
Northgate/Sunset -
Northgate/Forest Park



esri

100m

Dufferin, USDA FSA, GeoEye, Maxar

From: [Karen Landry](#)
To: [CouncilAgenda](#)
Subject: FW: Support of County of Wellington Aggregate Resource Property Valuation Resolution
Date: Wednesday, November 25, 2020 9:03:52 PM
Attachments: [image001.png](#)

Thanks,
Karen Landry

From: Sheila Duncan <sduncan@orangeville.ca>
Sent: Monday, November 23, 2020 2:36 PM
To: Karen Landry <klandry@orangeville.ca>
Subject: FW: Support of County of Wellington Aggregate Resource Property Valuation Resolution

From: Nicole Martin [<mailto:nmartin@amaranth.ca>]
Sent: Monday, November 23, 2020 2:27 PM
To: MacDonald, Nancy <macdonaldn@northumberlandcounty.ca>; inquiries@huroncounty.ca; admin@jocelyn.ca; lairdtpw@soonet.ca; tmichiels@thamescentre.on.ca; township@pertheast.ca; info@selwyntownship.ca; customerservice@siouxlookout.ca; brant@brant.ca; 311@greatersudbury.ca; admin@hiltontownship.ca; admin@jocelyn.ca; admin@nipissingtownship.com; admin@nipissingtownship.com; clerk@tudorandcashel.com; clerktreasurer@picklelake.org; generalinquiries@dryden.ca; info@cityofwoodstock.ca; Customer Service <customerservice@oxfordcounty.ca>; townhall@goderich.ca; hsander@townshipofsevern.com; clerks@clarington.net; info@warwicktownship.ca; info@cityofwoodstock.ca; general@get.on.ca; alberton@jam21.net; contactus@ajax.ca; alice.mercier@cochraneontario.com; info@champlain.ca; bpaulmachar@vianet.ca; admin@southfrontenac.net; clerks@burlington.ca; cao@lanarkhighlands.ca; clerk@cramahetownship.ca; pmueller@villageofwestport.ca; info@muskoka.on.ca; reynald.rivard@armstrong.ca; Lesley.Todd@uclg.on.ca; info@simcoe.ca; info@hamilton.ca; inquiries@norfolkcounty.ca; admin@southbrucepeninsula.com; admin@eganville.com; minto@town.minto.on.ca; clerk@niagararegion.ca; mdaigneault@alfred-plantagenet.com; info@trentlakes.ca; mail@northdumfries.ca; info@augusta.ca; info@township.limerick.on.ca; athens@myhighspeed.ca; info@admastonbromley.com; admin@zorra.on.ca; info@mcnabbraeside.com; havbelmet@hbmtpw.ca; twpmacd@onlink.net; cityadmin@owensound.ca; caoclerk@stonemills.com; mail@southdundas.com; townhall@collingwood.ca; office@georgianbluffs.on.ca; clerks@stcatharines.ca; info@townshipofperry.ca; pfettes@clearview.ca; township@emo.ca; admin@porthope.ca; havbelmet@hbmtpw.ca; clerks@townshipofbrock.ca; bkane@newtecumseth.ca; bknight@huroneast.com; webmaster@cobourg.ca; info@niagarafalls.ca; info@fauquierstrickland.com; info@brockton.ca; bpaulmachar@vianet.ca; info@leamington.ca; hicksl@hastingscounty.com; info@townofkearney.com; brentstdenis@gmail.com; brethour@parolink.net; bruceamines@bellnet.ca; civic@hanover.ca; burpeemills@vianet.ca; webmaster@london.ca; c.parent@northkawartha.ca; info@whitby.ca;

dheffernan@dourodummer.on.ca; cao.clerk@bonfieldtownship.org; cao@elgin.ca;
info@hastingshighlands.ca; info@laurentianhills.ca; info@madawaskavalley.on.ca;
clerk@marathon.ca; deputyclerk@merrickville-wolford.ca; liselavigne@northglengarry.ca;
clerk@schreiber.ca; info@southwestmiddlesex.ca; southwold@southwold.ca; info@terracebay.ca;
info@pecounty.on.ca; township@wellington-north.com; info@dysartetal.ca; info@wawa.cc;
township@centralfrontenac.com; general@brighton.ca; centralm@amtelecom.net;
admin@minden hills.ca; cgendron@moonbeam.ca; cgroulx@hawkesbury.ca;
admin@dnetownship.ca; general@kapuskasing.ca; chapple@tbaytel.net;
laurie.robinson@brampton.ca; info@durham.ca; admin@sundridge.ca; municipality@redlake.ca;
christine.tarling@kitchener.ca; accessyork@york.ca; webadmin@portcolborne.ca;
cityinfo@barrie.ca; info@lvtownship.ca; info@seguin.ca; CLamb@northhuron.ca;
office@townshipofjoly.com; admin@acwtownship.ca; info@addingtonhighlands.ca;
info@armourtownship.ca; clerk@burksfalls.ca; administration@calvintownship.ca;
clerk@carlowmayo.ca; info@centralhuron.com; clerk@dawneuphemia.on.ca;
info@dufferincounty.ca; clerk@evanturel.com; mbouffard@frenchriver.ca;
information@townofgananoque.ca; adminoffice@gordonbarrieisland.ca;
crystalrauche@hotmail.com; clerk@howick.ca; deputyclerk@town.ignace.on.ca; clerk@madoc.ca;
info@magnetawan.com; clerk@marathon.ca; clerk@mcmurrichmonteith.com;
info@municipalityofbluewater.ca; info@northernbruce.ca; info@northernbruce.ca;
info@oilsprings.ca; admin@papineaucameron.ca; lwalton@perth.ca; clerk@ryersontownship.ca;
customerservice@siouxlookout.ca; info@southalgonquin.ca; info@southhuron.ca; info@stirling-rawdon.com;
clerk@strongtownship.com; cao@tayvalleytwp.ca; clerk@thorold.com;
info@township.limerick.on.ca; clerk@tudorandcashel.com; info@twp.tweed.on.ca;
info@tyendinagatownship.com; clerk@wasagabeach.com; clerk@welland.ca;
westelgin@westelgin.net; admin@zorrra.on.ca; clerkplanning@northfrontenac.ca;
311@greatersudbury.ca; clerks@midland.ca; clerktreasurer@billingstwp.ca;
assignackinfo@amtelecom.net; township@ntl.sympatico.ca; clerktreasurer@picklelake.org;
clerktreasurer@visitmachin.com; township@centralfrontenac.com; bkane@newtecumseth.ca;
nnclark@sympatico.ca; office@chatsworth.ca; webmaster@twp.stclair.on.ca;
webmaster@twp.stclair.on.ca; info@whitewaterregion.ca; chollows@muskokalakelakes.ca;
accessyork@york.ca; hdowd@notl.org; conmee@tbaytel.net; services@cavanmonaghan.net;
dmctavish@enniskillen.ca; info@westperth.com; info@kawarthalakelakes.ca; admin@dnetownship.ca;
administration@huntsville.ca; dheffernan@dourodummer.on.ca; brendacoulter@larderlake.ca;
webmaster@london.ca; cschofield@forterie.ca; Customer Service
<customerservice@oxfordcounty.ca>; cpallo@city.belleville.on.ca; contact@lakeofbays.on.ca;
cwhite@asphodelnorwood.com; office@faraday.ca; info@loyalist.ca; dack@ntl.sympatico.ca;
dan.thibeault@chamberlaintownship.com; 311@toronto.ca; info@wilmot.ca;
dbatte@brucecounty.on.ca; town@northperth.ca; cityhall@cornwall.ca; admin@acwtownship.ca;
info@blrtownship.ca; dan.thibeault@chamberlaintownship.com; jhannam@thunderbay.ca;
email@huronshores.ca; clerk@thorold.com; clerk@dawneuphemia.on.ca;
info@armourtownship.ca; clerk@arran-elderslie.ca; reception@blackriver-matheson.com;
info@greyhighlands.ca; info@magnetawan.com; mhartling@manitouwadge.ca;
clerk@mcmurrichmonteith.com; deputyclerk@merrickville-wolford.ca;
clerkplanning@northfrontenac.ca; webadmin@portcolborne.ca; clerk@ryersontownship.ca;
info@southalgonquin.ca; info@stirling-rawdon.com; clerk@strongtownship.com;

clerktreasurer@visitmachin.com; clerk@wasagabeach.com; info@addingtonhighlands.ca;
township@ntl.sympatico.ca; neebing@neebing.org; neebing@neebing.org; CLamb@northhuron.ca;
info@melancthontownship.ca; clerks@townshipofbrock.ca; public.info@mississauga.ca;
clerks@sarnia.ca; info@whitby.ca; generalinquiries@dryden.ca; dwilson@centralelgin.org;
info@town.uxbridge.on.ca; admin@porthope.ca; clerk@kincardine.ca; admin@zorra.on.ca;
info@southriverontario.com; dmctavish@enniskillen.ca; info@southgate.ca;
caoclerk@stonemills.com; info@algonquinhighlands.ca; Kim Courts <kimc@wellington.ca>;
info@trenthills.ca; tquist@kos.net; email@petawawa.ca; info@lvtownship.ca;
cao@lanarkhighlands.ca; email@petawawa.ca; eftownship@ear-falls.com; cobalt@cobalt.ca;
dack@ntl.sympatico.ca; municipality@temiskamingshores.ca; dbatte@brucecounty.on.ca;
dwilson@centralelgin.org; malahide@malahide.ca; services@cavanmonaghan.net;
info@huronkinloss.com; info@haldimandcounty.on.ca; info@callander.ca; info@plympton-wyoming.ca;
elklake@ntl.sympatico.ca; 311@greatersudbury.ca; info@brockton.ca;
311@toronto.ca; town@eastgwillimbury.ca; info@mattawa.info; mono@townofmono.com;
administration@greenstone.ca; info@matticevalcote.ca; info@madawaskavalley.on.ca;
dawsontwp@tbaytel.net; lakeofthewoodstwp@tbaytel.net; gillian.angus-traill@townofws.ca;
gillies@tbaytel.net; corporate@orillia.ca; gkosch@wellesley.ca; inquiries@municipalityofkillarney.ca;
clerks@richmondhill.ca; clerk@northstormont.ca; plumtwp@onlink.net; minto@town.minto.on.ca;
gscharback@westgrey.com; admin@puslinch.ca; administration@valharty.ca;
harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net;
harris@parolink.net; info@whitby.ca; cao@duttundunwich.on.ca; brant@brant.ca; clerks@grey.ca;
pembroke@pembroke.ca; service@kenora.ca; clerks@stcatharines.ca; info@osmtownship.ca;
info@sdgcounties.ca; llalonde@easthawkesbury.ca; info@warwicktownship.ca; clerks@pelham.ca;
info@oilsprings.ca; info@stirling-rawdon.com; clerks@vaughan.ca; info@chisholm.ca;
admin@northmiddlesex.on.ca; info@tecumseh.ca; jallen@latchford.ca; info@frontenaccountry.ca;
info@hamilton.ca; laurie.robinson@brampton.ca; jaremy.hpayne@bellnet.ca;
jastrologo@kingsville.ca; admin@frontofyonge.com; webmaster@twp.stclair.on.ca;
LMclean@iroquoisfalls.com; contactus@cityofkingston.ca; info@villageofpointedward.com;
info@trentlakes.ca; ramara@ramara.ca; cathycase@amtelecom.net; info@westnipissing.ca;
cityadmin@owensound.ca; christine.tarling@kitchener.ca; clerks@clarington.net;
mcgarry.township@ntl.sympatico.ca; municipality@temiskamingshores.ca; info@mississippimills.ca;
clerk@cramahetownship.ca; contactus@cityofkingston.ca; info@eastgarafraxa.ca;
cityptbo@peterborough.ca; clerk@kincardine.ca; townofhearst@hearst.ca; info@northdundas.com;
jmellon@deepriver.ca; mail@scugog.ca; clerksoffice@centrehastings.com; karin@baldwin.ca;
clerk.greffe@russell.ca; info@simcoe.ca; 311@toronto.ca; info@pelee.ca;
cswearengen@chapleau.ca; info@northdundas.com; info@township.montague.on.ca;
nirving@town.aylmer.on.ca; info@haldimandcounty.on.ca; woolwich.mail@woolwich.ca;
general@get.on.ca; info@oro-mendonte.ca; clerks@stratford.ca; rainyriver@tbaytel.net;
info@adelaidemetcalfe.on.ca; info@whitestone.ca; customerservice@cityofnorthbay.ca;
wayne.hanchard@oliverpaipoonge.on.ca; ckinfo@chatham-kent.ca; olga.smith@waterloo.ca;
info@kawarthalakes.ca; jwilloughby@shelburne.ca; alice.mercier@cochraneontario.com;
customerservice@cityofnorthbay.ca; municipality@eastferris.ca; karin@baldwin.ca; Kim Armstrong
<karmstrong@norwich.ca>; inquiries@sables-spanish.ca; info@peelregion.ca; info@blindriver.ca;
info@gravenhurst.ca; eftownship@ear-falls.com; info@powassan.net; info@renfrew.ca;
kbunting@middlesex.ca; info@prescott.ca; info@smithsfalls.ca; inquiry@innisfil.ca; EZT

<ezt@ezt.ca>; info@southglengarry.com; 311@toronto.ca; info@townofkearney.com; clerks@burlington.ca; chriss@quintewest.ca; mbarlow@regionofwaterloo.ca; service@kenora.ca; info@lanarkcounty.ca; service@kenora.ca; Kim Courts <kimc@wellington.ca>; mail@morristurnberry.ca; customerservice@markham.ca; Kim Armstrong <karmstrong@norwich.ca>; info <info@orangeville.ca>; town@fort-frances.com; info@southglengarry.com; clerksoffice@carling.ca; online@king.ca; webmaster@lakeshore.ca; kokane@centrewellington.ca; llehr@essatowship.on.ca; jhannam@thunderbay.ca; info@thebluemountains.ca; info@newmarket.ca; info@ptbocounty.ca; info@hamiltontownship.ca; cityadmin@owensound.ca; township@wellington-north.com; communications@gbtownship.ca; arnprior@arnprior.ca; info@chisholm.ca; lairdtpw@soonet.ca; info@caledon.ca; lavalley@nwonet.net; municipality@temiskamingshores.ca; info@lanarkcounty.ca; info@atikokan.ca; Lesley.Todd@uclg.on.ca; info@moosonee.ca; info@ptbocounty.ca; jallen@latchford.ca; info@southgate.ca; clerk@saugeenshores.ca; info@nipigon.net; info@erin.ca; harlytpw@parolink.net; harlytpw@parolink.net; harlytpw@parolink.net; harlytpw@parolink.net; liselavigne@northglengarry.ca; info@town.lasalle.on.ca; gscharback@westgrey.com; llalonde@easthawkesbury.ca; clerks@stcatharines.ca; info@mcnabbraeside.com; llehr@essatowship.on.ca; info@newmarket.ca; info@powassan.net; clerk@town.southbruce.on.ca; lmcdonald@bracebridge.ca; info@pecounty.on.ca; kokane@centrewellington.ca; info@tecumseh.ca; clerk@brockville.com; administration@huntsville.ca; info@southstormont.ca; lmousseau@twp.prince.on.ca; inquiry@innisfil.ca; info@bancroft.ca; lscott@perthsouth.ca; town@fort-frances.com; info@twp.tweed.on.ca; thazzard@mcdougall.ca; mailbox@mapleton.ca; info@perthcounty.ca; questions@cambridge.ca; clerk@welland.ca; mono@townofmono.com; info@greyhighlands.ca; dheffernan@dourodummer.on.ca; clerk.grefe@russell.ca; mattawan@xplornet.ca; office@doriontownship.ca; coeinfo@countyofessex.ca; spparisien@prescott-russell.on.ca; malahide@malahide.ca; mkirkham@wainfleet.ca; info@aurora.ca; info@westnipissing.ca; info@dufferincounty.ca; joann.ducharme@tkl.ca; info@milton.ca; info@townshipofperry.ca; info@ingersoll.ca; info@whitestone.ca; townhall@goderich.ca; info@loyalist.ca; info@stthomas.ca; info@powassan.net; cityhall@cornwall.ca; cgroulx@hawkesbury.ca; info@blrtownship.ca; info@county.haliburton.on.ca; municipality@eastferris.ca; dcyr@clarence-rockland.com; petrolia@petrolia.ca; deputyclerk@town.ignace.on.ca; englehrt@ntl.sympatico.ca; info@county.haliburton.on.ca; contact@tillsonburg.ca; info@meaford.ca; arnprior@arnprior.ca; clerksoffice@carling.ca; cpallo@city.belleville.on.ca; mail@townofgrandvalley.ca; info@twprideaulakes.on.ca; bayham@bayham.on.ca; info@thearchipelago.on.ca; info@meaford.ca; nairncentre@personainternet.com; admin@sundridge.ca; info@smithsfalls.ca; info@city.elliottlake.on.ca; online@king.ca; services@cavanmonaghan.net; cityptbo@peterborough.ca; contactus@ajax.ca; Kim Courts <kimc@wellington.ca>; info@milton.ca; clerks@pelham.ca; info@fauquierstrickland.com; office@newbury.ca; olga.smith@waterloo.ca; info@blindriver.ca; info@townofspanish.com; inquiries@municipalityofkillarney.ca; town@northperth.ca; info@townofnemi.on.ca; info@hiltonbeach.com; laurie.robinson@brampton.ca; pfettes@clearview.ca; lmousseau@twp.prince.on.ca; cao@lanarkhighlands.ca; people@johnsontownship.ca; info@countyofrenfrew.on.ca; inquiry@amherstburg.ca; town@espanola.ca; bayham@bayham.on.ca; general@brighton.ca; office@chatsworth.ca; pmueller@villageofwestport.ca; Administration-Office-General@grimsby.ca; inquiry@innisfil.ca; hdowd@notl.org; info@cityssm.on.ca; rainyriver@tbaytel.net; info@durham.ca;

sbrown@essex.ca; lscott@perthsouth.ca; info@georgina.ca; accesshalton@halton.ca;
info@springwater.ca; reynaldrivard@nt.net; reynaldrivard@nt.net; info@markstay-warren.ca;
info@countyofrenfrew.on.ca; caoclerk@stonemills.com; info@ottawa.ca;
rjohnson@townofparrysound.com; generalmail@blandfordblenheim.ca;
rmurphy@townofbwg.com; bkane@adjitos.ca; laurie.robinson@brampton.ca;
rreymer@lucanbiddulph.on.ca; info@highlandseast.ca; cmcgregor@twp.beckwith.on.ca;
mail@twpec.ca; clerks@richmondhill.ca; public.info@mississauga.ca; townhall@collingwood.ca;
info@redrocktownship.com; admin@eganville.com; info@springwater.ca;
info@greaternapanee.com; info@carletonplace.ca; aclarke@gorebay.ca; township@dubreuilville.ca;
scooper@penetanguishene.ca; township@dubreuilville.ca; inquiries@huroncounty.ca;
info@casselman.ca; cgroulx@hawkesbury.ca; Lesley.Todd@uclg.on.ca; info@hastingshighlands.ca;
info@cityofwoodstock.ca; Administration-Office-General@grimsby.ca; jastrologo@kingsville.ca;
englehrt@ntl.sympatico.ca; clerk@brockville.com; generalmail@blandfordblenheim.ca;
info@southwestmiddlesex.ca; shuniah@shuniah.org; info@kawarthalakes.ca; info@moosonee.ca;
info@khrtownship.ca; info@eastgarafraxa.ca; clerks@timmins.ca; administration@county-lambton.on.ca;
inquiries@norfolkcounty.ca; clerks@richmondhill.ca; info@guelph.ca;
stjoeadmin@bellnet.ca; stjoeadmin@bellnet.ca; administration@lambtonshores.ca;
elklake@ntl.sympatico.ca; info@atikokan.ca; Information <info@amaranth.ca>;
suzannej@haltonhills.ca; clerk@temagami.ca; clerks@citywindsor.ca; dluker@tiny.ca;
info@aurora.ca; township@emo.ca; administration@huntsville.ca; lmcdonald@bracebridge.ca;
tarbutt@township@bellnet.ca; tarbutt@township@bellnet.ca; t.bennett@marmoraandlake.ca;
clerks@stratford.ca; tdaniels@brantford.ca; laurie.robinson@brampton.ca;
inquiry@amherstburg.ca; jbouthillette@stcharlesontario.ca; info@selwyntownship.ca;
info@khrtownship.ca; mail@morristurnberry.ca; info@trenthills.ca; town@eastgwillimbury.ca;
contact@lakeofbays.on.ca; tmckenzie@lennox-addington.on.ca; general@townofstmarys.com;
Information <info@amaranth.ca>; rreymer@lucanbiddulph.on.ca; tmichiels@thamescentre.on.ca;
toc@ontera.net; clerks@vaughan.ca; info@thebluemountains.ca;
townshipofgauthier@hotmail.com; townshipofmorley@gmail.com; townshipofmorley@gmail.com;
clerk@saugeenshores.ca; info@wilmot.ca; clerk@carlowmayo.ca; info@laurentianhills.ca;
clerk@schreiber.ca; rmurphy@townofbwg.com; info@milton.ca; generalinquiries@lincoln.ca;
twphill@parolink.net; twpmacd@onlink.net; twpoconn@tbaytel.net; twpoconn@tbaytel.net;
twpopas@persona.ca; clerk@township.mckellar.on.ca; suzannej@haltonhills.ca;
vanessa@townshipleeds.on.ca; tgarcia@wollaston.ca; admin@mindenhills.ca; hdowd@notl.org;
clerks@citywindsor.ca; comments@townsrf.ca; plumtwsp@onlink.net;
woolwich.mail@woolwich.ca; townclerk@oakville.ca; chriss@quintewest.ca;
info@melancthontownship.ca; wayne.hanchard@oliverpaipoonge.on.ca; EZT <ezt@ezt.ca>;
info@snnf.ca; mkirkham@wainfleet.ca; tgarcia@wollaston.ca; wright@middlesexcentre.on.ca;
amo@amo.on.ca; ernie.hardeman@pc.ola.org; clerk@swox.org

Cc: Minister (MMAH <minister.mah@ontario.ca>; Minister.fin@ontario.ca; amo@amo.on.ca; Your
ROMA Zone 4 Representative <roma@roma.on.ca>; romachair@roma.on.ca;
sylvia.jones@pc.ola.org; sylvia_jonesco@pc.ola.org

Subject: Support of County of Wellington Aggregate Resource Property Valuation Resolution

Please note that the Council of the Township of Amaranth recently endorsed the following resolution at its regular meeting of Council held on November 18, 2020:

Whereas previous assessment methodologies for aggregate resource properties valued areas that were used for aggregate resources or gravel pits at industrial land rates on a per acre basis of the total site and such properties were formally classified and taxed as industrial lands; and

WHEREAS Township of Amaranth Council supports a fair and equitable assessment system for all aggregate resource properties; and

WHEREAS the Municipal Property Assessment Corporation determined, with the participation only of the Ontario Stone, Sand and Gravel Association, revised criteria for assessing aggregate resource properties; and

WHEREAS Township of Amaranth Council has concerns that the revised criteria does not fairly assess the current value of the aggregate resource properties.

Resolution #4

Moved by: C. Gerrits – Seconded by: H. Foster

NOW THEREFORE BE IT RESOLVED THAT:

The Township of Amaranth Council does not consider the revised criteria for assessment of aggregate resource properties as a fair method of valuation for these properties; and

THAT Township of Amaranth Council believes there is a need to review the current assessment scheme for aggregate resource properties to address the inequity of property values; and

THAT Township of Amaranth hereby calls upon the Province to work with the Municipal Property Assessment Corporation to address the assessment issue so that aggregate resource properties are assessed for their industrial value ; and

THAT Township of Amaranth Council directs the Clerk to provide a copy of this motion to the Ministers of Finance; Municipal Affairs and Housing; and Natural Resources and Forestry; and to AMO, ROMA, and all Ontario municipalities and local MPP(s).

CARRIED.

Nicole Martin, Dipl. M.A.

CAO/Clerk | Township of Amaranth

374028 6th Line | Amaranth | ON | L9W 0M6

Tel: 519-941-1007 ext. 227 | Fax: 519 - 941-1802

Our Offices are now open to the public by “appointment only” basis for all services including payment of accounts. To book your appointment, please call 519-941-1007. Masks are required when attending the municipal office.

For accurate information on COVID-19 please visit: www.ontario.ca/COVID-19



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From: [Karen Landry](#)
To: [CouncilAgenda](#)
Subject: FW: Governing Body for Cannabis support resolution - Northumberland County
Date: Wednesday, November 25, 2020 9:03:34 PM
Attachments: [image001.png](#)

Thanks,
Karen Landry

From: Sheila Duncan <sduncan@orangeville.ca>
Sent: Monday, November 23, 2020 2:41 PM
To: Karen Landry <klandry@orangeville.ca>
Subject: FW: Governing Body for Cannabis support resolution - Northumberland County

From: Nicole Martin [<mailto:nmartin@amaranth.ca>]
Sent: Monday, November 23, 2020 2:31 PM
To: inquiries@huroncounty.ca; admin@jocelyn.ca; lairdtwp@soonet.ca;
tmichiels@thamescentre.on.ca; township@pertheast.ca; info@selwyntownship.ca;
customerservice@siouxlookout.ca; brant@brant.ca; 311@greatersudbury.ca;
admin@hiltontownship.ca; admin@jocelyn.ca; admin@nipissingtownship.com;
admin@nipissingtownship.com; clerk@tudorandcashel.com; clerktreasurer@pickl lake.org;
generalinquiries@dryden.ca; info@cityofwoodstock.ca; customerservice@oxfordcounty.ca;
townhall@goderich.ca; hsander@townshipofsevern.com; clerks@clarington.net;
info@warwicktownship.ca; info@cityofwoodstock.ca; general@get.on.ca; alberton@jam21.net;
contactus@ajax.ca; alice.mercier@cochraneontario.com; info@champlain.ca;
bpaulmachar@vianet.ca; admin@southfrontenac.net; clerks@burlington.ca;
cao@lanarkhighlands.ca; clerk@cramahetownship.ca; pmueller@villageofwestport.ca;
info@muskoka.on.ca; reynald.rivard@armstrong.ca; Lesley.Todd@uclg.on.ca; info@simcoe.ca;
info@hamilton.ca; inquiries@norfolkcounty.ca; admin@southbrucepeninsula.com;
admin@eganville.com; minto@town.minto.on.ca; clerk@niagararegion.ca; mdaigneault@alfred-plantagenet.com;
info@trentlakes.ca; mail@northdumfries.ca; info@augusta.ca;
info@township.limerick.on.ca; athens@myhighspeed.ca; info@admastonbromley.com;
admin@zorra.on.ca; info@mcnabbraeside.com; havbelmet@hbmtpw.ca; twpmacd@onlink.net;
cityadmin@owensound.ca; caoclerk@stonemills.com; mail@southdundas.com;
townhall@collingwood.ca; office@georgianbluffs.on.ca; clerks@stcatharines.ca;
info@townshipofperry.ca; pfettes@clearview.ca; township@emo.ca; admin@porthope.ca;
havbelmet@hbmtpw.ca; clerks@townshipofbrock.ca; bkane@newtecumseth.ca;
bknight@huroneast.com; webmaster@cobourg.ca; info@niagarafalls.ca;
info@fauquierstrickland.com; info@brockton.ca; bpaulmachar@vianet.ca; info@leamington.ca;
hicksl@hastingscounty.com; info@townofkearney.com; brentstdenis@gmail.com;
brethour@parolink.net; brucemines@bellnet.ca; civic@hanover.ca; burpeemills@vianet.ca;
webmaster@london.ca; macdonaldn@northumberlandcounty.ca; c.parent@northkawartha.ca;
info@whitby.ca; dheffernan@dourodummer.on.ca; cao.clerk@bonfieldtownship.org; cao@elgin.ca;

info@hastingshighlands.ca; info@laurentianhills.ca; info@madawaskavalley.on.ca;
clerk@marathon.ca; deputyclerk@merrickville-wolford.ca; liselavigne@northglengarry.ca;
clerk@schreiber.ca; info@southwestmiddlesex.ca; southwold@southwold.ca; info@terracebay.ca;
info@pecounty.on.ca; township@wellington-north.com; info@dysartetal.ca; info@wawa.cc;
township@centralfrontenac.com; general@brighton.ca; centralm@amtelecom.net;
admin@minden hills.ca; cgendron@moonbeam.ca; cgroulx@hawkesbury.ca;
admin@dnetownship.ca; general@kapuskasing.ca; chapple@tbaytel.net;
laurie.robinson@brampton.ca; info@durham.ca; admin@sundridge.ca; municipality@redlake.ca;
christine.tarling@kitchener.ca; accessyork@york.ca; webadmin@portcolborne.ca;
cityinfo@barrie.ca; info@lvtownship.ca; info@seguin.ca; CLamb@northhuron.ca;
office@townshipofjoly.com; admin@acwtownship.ca; info@addingtonhighlands.ca;
info@armourtownship.ca; clerk@burksfalls.ca; administration@calvintownship.ca;
clerk@carlowmayo.ca; info@centralhuron.com; clerk@dawneuphemia.on.ca;
info@dufferincounty.ca; clerk@evanturel.com; mbouffard@frenchriver.ca;
information@townofgananoque.ca; adminoffice@gordonbarrieisland.ca;
crystalrauche@hotmail.com; clerk@howick.ca; deputyclerk@town.ignace.on.ca; clerk@madoc.ca;
info@magnetawan.com; clerk@marathon.ca; clerk@mcmurrichmonteith.com;
info@municipalityofbluewater.ca; info@northernbruce.ca; info@northernbruce.ca;
info@oilsprings.ca; admin@papineaucameron.ca; lwalton@perth.ca; clerk@ryersontownship.ca;
customerservice@siouxlookout.ca; info@southalgonquin.ca; info@southhuron.ca; info@stirling-rawdon.com;
clerk@strongtownship.com; clerk@swox.org; cao@tayvalleytwp.ca;
clerk@thorold.com; info@township.limerick.on.ca; clerk@tudorandcashel.com;
info@twp.tweed.on.ca; info@tyendinagatownship.com; clerk@wasagabeach.com;
clerk@welland.ca; westelgin@westelgin.net; admin@zorra.on.ca; clerkplanning@northfrontenac.ca;
311@greatersudbury.ca; clerks@midland.ca; clerktreasurer@billingstwp.ca;
assignackinfo@amtelecom.net; township@ntl.sympatico.ca; clerktreasurer@picklelake.org;
clerktreasurer@visitmachin.com; township@centralfrontenac.com; bkane@newtecumseth.ca;
nnclark@sympatico.ca; office@chatsworth.ca; webmaster@twp.stclair.on.ca;
webmaster@twp.stclair.on.ca; info@whitewaterregion.ca; chollows@muskokalakelakes.ca;
accessyork@york.ca; hdown@notl.org; conmee@tbaytel.net; services@cavanmonaghan.net;
dmctavish@enniskillen.ca; info@westperth.com; info@kawarthalakelakes.ca; admin@dnetownship.ca;
administration@huntsville.ca; dheffernan@dourodummer.on.ca; brendacoulter@larderlake.ca;
webmaster@london.ca; cschofield@forterie.ca; customerservice@oxfordcounty.ca;
cpallo@city.belleville.on.ca; contact@lakeofbays.on.ca; cwhite@asphodelnorwood.com;
office@faraday.ca; info@loyalist.ca; dack@ntl.sympatico.ca;
dan.thibeault@chamberlaintownship.com; 311@toronto.ca; info@wilmot.ca;
dbatte@brucecounty.on.ca; town@northperth.ca; cityhall@cornwall.ca; admin@acwtownship.ca;
info@blrtownship.ca; dan.thibeault@chamberlaintownship.com; jhannam@thunderbay.ca;
email@huronshores.ca; clerk@thorold.com; clerk@dawneuphemia.on.ca;
info@armourtownship.ca; clerk@arran-elderslie.ca; reception@blackriver-matheson.com;
info@greyhighlands.ca; info@magnetawan.com; mhartling@manitouwadge.ca;
clerk@mcmurrichmonteith.com; deputyclerk@merrickville-wolford.ca;
clerkplanning@northfrontenac.ca; webadmin@portcolborne.ca; clerk@ryersontownship.ca;
info@southalgonquin.ca; info@stirling-rawdon.com; clerk@strongtownship.com;
clerktreasurer@visitmachin.com; clerk@wasagabeach.com; info@addingtonhighlands.ca;

township@ntl.sympatico.ca; neebing@neebing.org; neebing@neebing.org; CLamb@northhuron.ca;
info@melancthontownship.ca; clerks@townshipofbrock.ca; public.info@mississauga.ca;
clerks@sarnia.ca; info@whitby.ca; generalinquiries@dryden.ca; dwilson@centralelgin.org;
info@town.uxbridge.on.ca; admin@porthope.ca; clerk@kincardine.ca; admin@zorra.on.ca;
info@southriverontario.com; dmctavish@enniskillen.ca; info@southgate.ca;
caoclerk@stonemills.com; info@algonquinhighlands.ca; Kim Courts <kimc@wellington.ca>;
info@trenthills.ca; tquist@kos.net; email@petawawa.ca; info@lvtownship.ca;
cao@lanarkhighlands.ca; email@petawawa.ca; eftownship@ear-falls.com; cobalt@cobalt.ca;
dack@ntl.sympatico.ca; municipality@temiskamingshores.ca; dbatte@brucecounty.on.ca;
dwilson@centralelgin.org; malahide@malahide.ca; services@cavanmonaghan.net;
info@huronkinloss.com; info@haldimandcounty.on.ca; info@callander.ca; info@plympton-wyoming.ca; elklake@ntl.sympatico.ca; MacDonald, Nancy
<macdonaldn@northumberlandcounty.ca>; 311@greatersudbury.ca; info@brockton.ca;
311@toronto.ca; town@eastgwillimbury.ca; info@mattawa.info; mono@townofmono.com;
administration@greenstone.ca; info@matticevalcote.ca; info@madawaskavalley.on.ca;
dawsontwp@tbaytel.net; lakeofthewoodstwp@tbaytel.net; gillian.angus-traill@townofws.ca;
gillies@tbaytel.net; corporate@orillia.ca; gkosch@wellesley.ca; inquiries@municipalityofkillarney.ca;
clerks@richmondhill.ca; clerk@northstormont.ca; plumtwp@onlink.net; minto@town.minto.on.ca;
gscharback@westgrey.com; admin@puslinch.ca; administration@valharty.ca;
harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net;
harris@parolink.net; info@whitby.ca; cao@duttundunwich.on.ca; brant@brant.ca; clerks@grey.ca;
pembroke@pembroke.ca; service@kenora.ca; clerks@stcatharines.ca; info@osmtownship.ca;
info@sdgcounties.ca; llalonde@easthawkesbury.ca; info@warwicktownship.ca; clerks@pelham.ca;
info@oilsprings.ca; info@stirling-rawdon.com; clerks@vaughan.ca; info@chisholm.ca;
admin@northmiddlesex.on.ca; info@tecumseh.ca; jallen@latchford.ca; info@frontenacounty.ca;
info@hamilton.ca; laurie.robinson@brampton.ca; jaremy.hpayne@bellnet.ca;
jastrologo@kingsville.ca; admin@frontofyonge.com; webmaster@twp.stclair.on.ca;
LMclean@iroquoisfalls.com; contactus@cityofkingston.ca; info@villageofpointedward.com;
info@trentlakes.ca; ramara@ramara.ca; cathycase@amtelecom.net; info@westnipissing.ca;
cityadmin@owensound.ca; christine.tarling@kitchener.ca; clerks@clarington.net;
mcgarry.township@ntl.sympatico.ca; municipality@temiskamingshores.ca; info@mississippimills.ca;
clerk@cramahetownship.ca; contactus@cityofkingston.ca; info@eastgarafraxa.ca;
cityptbo@peterborough.ca; clerk@kincardine.ca; townofhearst@hearst.ca; info@northdundas.com;
jmellon@deepriver.ca; mail@scugog.ca; clerksoffice@centrehastings.com; karin@baldwin.ca;
clerk.greffe@russell.ca; info@simcoe.ca; 311@toronto.ca; info@pelee.ca;
cswearengen@chapleau.ca; info@northdundas.com; info@township.montague.on.ca;
nirving@town.aylmer.on.ca; info@haldimandcounty.on.ca; woolwich.mail@woolwich.ca;
general@get.on.ca; info@oro-mendonte.ca; clerks@stratford.ca; rainyriver@tbaytel.net;
info@adelaidemetcalfe.on.ca; info@whitestone.ca; customerservice@cityofnorthbay.ca;
wayne.hanchard@oliverpaipoonge.on.ca; ckinfo@chatham-kent.ca; olga.smith@waterloo.ca;
info@kawarthalakes.ca; jwilloughby@shelburne.ca; alice.mercier@cochraneontario.com;
customerservice@cityofnorthbay.ca; municipality@eastferris.ca; karin@baldwin.ca;
karmstrong@norwich.ca; inquiries@sables-spanish.ca; info@peelregion.ca; info@blindriver.ca;
info@gravenhurst.ca; eftownship@ear-falls.com; info@powassan.net; info@renfrew.ca;
kbunting@middlesex.ca; info@prescott.ca; info@smithsfalls.ca; inquiry@innisfil.ca; ezt@ezt.ca;

info@southglengarry.com; 311@toronto.ca; info@townofkearney.com; clerks@burlington.ca; chriss@quintwest.ca; mbarlow@regionofwaterloo.ca; service@kenora.ca; info@lanarkcounty.ca; service@kenora.ca; Kim Courts <kimc@wellington.ca>; mail@morristurnberry.ca; customerservice@markham.ca; karmstrong@norwich.ca; info@orangeville.ca; town@fort-frances.com; info@southglengarry.com; clerksoffice@carling.ca; online@king.ca; webmaster@lakeshore.ca; kokane@centrewellington.ca; llehr@essatownship.on.ca; jhannam@thunderbay.ca; info@thebluemountains.ca; info@newmarket.ca; info@ptbocounty.ca; info@hamiltontownship.ca; cityadmin@owensound.ca; township@wellington-north.com; communications@gbtownship.ca; arnprior@arnprior.ca; info@chisholm.ca; lairdtwp@soonet.ca; info@caledon.ca; lavalley@nwonet.net; municipality@temiskamingshores.ca; info@lanarkcounty.ca; info@atikokan.ca; Lesley.Todd@uclg.on.ca; info@moosonee.ca; info@ptbocounty.ca; jallen@latchford.ca; info@southgate.ca; clerk@saugeenshores.ca; info@nipigon.net; info@erin.ca; harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net; harlytwp@parolink.net; liselavigne@northglengarry.ca; info@town.lasalle.on.ca; gscharback@westgrey.com; llalonde@easthawkesbury.ca; clerks@stcatharines.ca; info@mcnabbraeside.com; llehr@essatownship.on.ca; info@newmarket.ca; info@powassan.net; clerk@town.southbruce.on.ca; lmcdonald@bracebridge.ca; info@pecounty.on.ca; kokane@centrewellington.ca; info@tecumseh.ca; clerk@brockville.com; administration@huntsville.ca; info@southstormont.ca; lmousseau@twp.prince.on.ca; inquiry@innisfil.ca; info@bancroft.ca; lscott@perthsouth.ca; town@fort-frances.com; info@twp.tweed.on.ca; thazzard@mcdougall.ca; mailbox@mapleton.ca; info@perthcounty.ca; MacDonald, Nancy <macdonaldn@northumberlandcounty.ca>; questions@cambridge.ca; clerk@welland.ca; mono@townofmono.com; info@greyhighlands.ca; dheffernan@dourodummer.on.ca; clerk.grefe@russell.ca; mattawan@xplornet.ca; office@doriontownship.ca; coeinfo@countyofessex.ca; spparisien@prescott-russell.on.ca; malahide@malahide.ca; mkirkham@wainfleet.ca; info@aurora.ca; info@westnipissing.ca; info@dufferincounty.ca; joann.ducharme@tkl.ca; info@milton.ca; info@townshipofperry.ca; info@ingersoll.ca; info@whitestone.ca; townhall@goderich.ca; info@loyalist.ca; info@stthomas.ca; info@powassan.net; cityhall@cornwall.ca; cgroux@hawkesbury.ca; info@blrtownship.ca; info@county.haliburton.on.ca; municipality@eastferris.ca; dcyr@clarence-rockland.com; petrolia@petrolia.ca; deputyclerk@town.ignace.on.ca; englehrt@ntl.sympatico.ca; info@county.haliburton.on.ca; contact@tillsonburg.ca; info@meaford.ca; arnprior@arnprior.ca; clerksoffice@carling.ca; cpallo@city.belleville.on.ca; mail@townofgrandvalley.ca; info@twprideaulakes.on.ca; bayham@bayham.on.ca; info@thearchipelago.on.ca; info@meaford.ca; nairncentre@personainternet.com; admin@sundridge.ca; info@smithsfalls.ca; info@city.elliottlake.on.ca; online@king.ca; services@cavanmonaghan.net; cityptbo@peterborough.ca; contactus@ajax.ca; Kim Courts <kimc@wellington.ca>; info@milton.ca; clerks@pelham.ca; info@fauquierstrickland.com; office@newbury.ca; olga.smith@waterloo.ca; info@blindriver.ca; info@townofspanish.com; inquiries@municipalityofkillarney.ca; town@northperth.ca; info@townofnemi.on.ca; info@hiltonbeach.com; laurie.robinson@brampton.ca; pfettes@clearview.ca; lmousseau@twp.prince.on.ca; cao@lanarkhighlands.ca; people@johnsontownship.ca; info@countyofrenfrew.on.ca; inquiry@amherstburg.ca; town@espanola.ca; bayham@bayham.on.ca; general@brighton.ca; office@chatsworth.ca; pmueller@villageofwestport.ca; Administration-Office-General@grimsby.ca; inquiry@innisfil.ca; hdowd@notl.org; info@cityssm.on.ca; rainyriver@tbaytel.net; info@durham.ca;

sbrown@essex.ca; lscott@perthsouth.ca; info@georgina.ca; accesshalton@halton.ca;
info@springwater.ca; reynaldrivard@nt.net; reynaldrivard@nt.net; info@markstay-warren.ca;
info@countyofrenfrew.on.ca; caoclerk@stonemills.com; info@ottawa.ca;
rjohnson@townofparrysound.com; generalmail@blandfordblenheim.ca;
rmurphy@townofbwg.com; bkane@adjitos.ca; laurie.robinson@brampton.ca;
rreymer@lucanbiddulph.on.ca; info@highlandseast.ca; cmcgregor@twp.beckwith.on.ca;
mail@twpec.ca; clerks@richmondhill.ca; public.info@mississauga.ca; townhall@collingwood.ca;
info@redrocktownship.com; admin@eganville.com; info@springwater.ca;
info@greaternapanee.com; info@carletonplace.ca; aclarke@gorebay.ca; township@dubreuilville.ca;
scooper@penetanguishene.ca; township@dubreuilville.ca; inquiries@huroncounty.ca;
info@casselman.ca; cgroulx@hawkesbury.ca; Lesley.Todd@uclg.on.ca; info@hastingshighlands.ca;
info@cityofwoodstock.ca; Administration-Office-General@grimsby.ca; jastrologo@kingsville.ca;
englehrt@ntl.sympatico.ca; clerk@brockville.com; generalmail@blandfordblenheim.ca;
info@southwestmiddlesex.ca; shuniah@shuniah.org; info@kawarthalakes.ca; info@moosonee.ca;
info@khrtownship.ca; info@eastgarafraxa.ca; clerks@timmins.ca; administration@county-lambton.on.ca;
inquiries@norfolkcounty.ca; clerks@richmondhill.ca; info@guelph.ca;
stjoeadmin@bellnet.ca; stjoeadmin@bellnet.ca; administration@lambtonshores.ca;
elklake@ntl.sympatico.ca; info@atikokan.ca; Information <info@amaranth.ca>;
suzannej@haltonhills.ca; clerk@temagami.ca; clerks@citywindsor.ca; dluker@tiny.ca;
info@aurora.ca; township@emo.ca; administration@huntsville.ca; lmcdonald@bracebridge.ca;
tarbutt@township@bellnet.ca; tarbutt@township@bellnet.ca; t.bennett@marmoraandlake.ca;
clerks@stratford.ca; tdaniels@brantford.ca; laurie.robinson@brampton.ca;
inquiry@amherstburg.ca; jbouthillette@stcharlesontario.ca; info@selwyntownship.ca;
info@khrtownship.ca; mail@morristurnberry.ca; info@trenthills.ca; town@eastgwillimbury.ca;
contact@lakeofbays.on.ca; tmckenzie@lennox-addington.on.ca; general@townofstmarys.com;
Information <info@amaranth.ca>; rreymer@lucanbiddulph.on.ca; tmichiels@thamescentre.on.ca;
toc@ontera.net; clerks@vaughan.ca; info@thebluemountains.ca;
townshipofgauthier@hotmail.com; townshipofmorley@gmail.com; townshipofmorley@gmail.com;
clerk@saugeenshores.ca; info@wilmot.ca; clerk@carlowmayo.ca; info@laurentianhills.ca;
clerk@schreiber.ca; rmurphy@townofbwg.com; info@milton.ca; generalinquiries@lincoln.ca;
twphill@parolink.net; twpmacd@onlink.net; twpoconn@tbaytel.net; twpoconn@tbaytel.net;
twpopas@persona.ca; clerk@township.mckellar.on.ca; suzannej@haltonhills.ca;
vanessa@townshipleeds.on.ca; tgarcia@wollaston.ca; admin@mindenhills.ca; hdowd@notl.org;
clerks@citywindsor.ca; comments@townsrf.ca; plumtwsp@onlink.net;
woolwich.mail@woolwich.ca; townclerk@oakville.ca; chriss@quintewest.ca;
info@melancthontownship.ca; wayne.hanchard@oliverpaipoonge.on.ca; ezt@ezt.ca; info@snnf.ca;
mkkirkham@wainfleet.ca; tgarcia@wollaston.ca; wright@middlesexcentre.on.ca; amo@amo.on.ca

Subject: Governing Body for Cannabis support resolution - Northumberland County

Please note that the Council of the Township of Amaranth recently endorsed the following resolution at its regular meeting of Council held on November 18, 2020:

Resolution #5

Moved by: C. Gerrits – Seconded by: H. Foster

BE IT RESOLVED THAT:

The Township of Amaranth Council provide support for the resolution adopted by Northumberland County requesting their request that:

- A governing body be created to regulate cannabis production; and
- The governing body take a unified approach be taken to land use planning restrictions; and
- The governing body enforce the regulations under the Cannabis Act on behalf of the licensing agency and ensures local authorities are in fact provided with notification of any license issuances, amendment, suspensions, reinstatement, re revocation within their region; and
- The governing body communicated more readily with local governments; and
- The governing body provides local government with more support; and

FURTHER BE IT RESOLVED THAT the Township of Amaranth Council forward this resolution to all municipalities in Ontario, the Minister of Agriculture, Food and rural Affairs, requesting that legislation be enacted to support local governments with cannabis land use management and enforcement issues.

CARRIED.

Nicole Martin, Dipl. M.A.

CAO/Clerk | Township of Amaranth

374028 6th Line | Amaranth | ON | L9W 0M6

Tel: 519-941-1007 ext. 227 | Fax: 519 - 941-1802

Our Offices are now open to the public by “appointment only” basis for all services including payment of accounts. To book your appointment, please call 519-941-1007. Masks are required when attending the municipal office.

For accurate information on COVID-19 please visit: www.ontario.ca/COVID-19



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November 25, 2020

Hon. Sylvia Jones
Solicitor General
George Drew Building, 18th Floor
25 Grosvenor St.
Toronto, ON M7A 1Y6

Re: Schedule 6 of Bill 229 - Open Letter to the Honourable Sylvia Jones, MPP for Dufferin-Caledon

Dear Honourable Sylvia Jones:

Mono Council unanimously passed a resolution at its meeting of November 24, 2020 and we append a copy of it to this letter. Mono is a member of three conservation authorities – Toronto Region, Credit and the Nottawasaga. We value the services provided – all services but in particular the assistance in making planning decisions that protect our drinking water, that protect us from developing in flood-prone areas and that protect our wetlands and aquifers.

In 2021 Mono will spend \$133,365 on conservation authorities. If we had to hire our own employees – engineers, planners, ecologists, hydrogeologists, foresters, outdoor educational staff, etc. – to do its own work, we would spend much more than \$133,365 for these services.

We were not impressed with Schedule 6 to Bill 229. It undermines the power of conservation authorities to do their job. And we were particularly unimpressed when your government slipped these proposed changes to the Conservation Authorities Act into a Budget Bill.

We are concerned that Schedule 6 undermines the ability of conservation authorities to make non-political, technical decisions based on science. It does this by allowing the Minister to overrule the decisions of conservation authorities. Schedule 6 will also interfere with the fiduciary duty of a conservation authority board member. Board members have to think of watershed-wide interests in making decisions. We are also concerned that Schedule 6 limits the enforcement powers of conservation authorities.

We have to agree with the Canadian Environmental Law Association (CELA) assessment of Schedule 6 of Bill 229, *“the package of amendments as proposed are likely to set back watershed planning and implementation of an ecosystem-based approach by decades. As such, CELA recommends*

that Schedule 6 not be enacted in its present form and instead be withdrawn in its entirety from Bill 229.”

Sincerely,

The Council of the Town of Mono

Mayor Laura Ryan

Deputy Mayor John Creelman

Councillor Ralph Manktelow

Councillor Sharon Martin

Councillor Fred Nix

Attachments:

- I. Town of Mono Resolution 6-VC17-2020 passed November 24, 2020

CC: Hon. Doug Ford, Premier
Hon. Rod Phillips, Minister of Finance
Hon. Jeff Yurek, Minister of the Environment, Conservation and Parks
Andrea Horwath, Leader, Official Opposition
Steven Del Duca, Leader, Ontario Liberal Party
Mike Schreiner, Leader, Green Party of Ontario
Sandy Shaw, Critic, Finance and Treasury Board
Ian Arthur, Critic, Environment
Peter Tabuns, Critic, Climate Crisis

Email copies to: NVCA, CVC, TRCA, Canadian Environmental Law Association, AMO & all Ontario municipalities

Resolution #6-VC17-2020

Moved by Ralph Manktelow, Seconded by Fred Nix

WHEREAS the Province has introduced Bill 229, Protect, Support and Recover from COVID 19 Act - Schedule 6 – Conservation Authorities Act;

AND WHEREAS the Legislation introduces several changes and new sections that could remove and/or significantly hinder conservation authorities' role in regulating development, permit appeal process and engaging in review and appeal of planning applications;

AND WHEREAS we rely on the watershed expertise provided by local conservation authorities to protect residents, property, and local natural resources on a watershed basis by regulating development and engaging in reviews of applications submitted under the Planning Act;

AND WHEREAS the changes allow the Minister to make decisions without conservation authority watershed data and expertise;

AND WHEREAS the Legislation suggests that the Minister will have the ability to establish standards and requirements for non-mandatory programs which are negotiated between the conservation authorities and municipalities to meet local watershed needs;

AND WHEREAS the \$133,365 that Mono spends on three conservation authorities (1% of budget) is a bargain for the services provided and begs the question as to why Mono would have to enter into three separate agreements for services it now happily receives - without further red tape;

AND WHEREAS municipalities believe that the appointment of municipal representatives on conservation authority boards should be a municipal decision; and the Chair and Vice Chair of the conservation authority boards should be duly elected;

AND WHEREAS it is sometimes not practical for the Town of Mono to appoint **only** council members (particularly if this excludes mayors and deputy mayors) to each of the three conservation authorities that service our municipality;

AND WHEREAS it has been the Town of Mono's experience with the Nottawasaga Valley Conservation Authority that having a chair or vice-chair serve for more than one year has produced experienced individuals;

AND WHEREAS the changes to the 'Duty of Members' contradicts the fiduciary duty of a conservation authority board member to represent the best interests of the conservation authority and its responsibility to the watershed;

AND WHEREAS conservation authorities have already been working with the Province, development sector and municipalities to streamline and speed up permitting and planning approvals through Conservation Ontario's Client Service and Streamlining Initiative;

AND WHEREAS changes to the legislation will create more red tape and costs for the conservation authorities, their municipal partners, and potentially result in delays in the development approval process;

AND WHEREAS municipalities value and rely on the natural habitats and water resources within conservation authority jurisdictions for the health and well-being of residents; municipalities value conservation authorities' work to prevent and manage the impacts of flooding and other natural hazards; and municipalities value conservation authorities' work to ensure safe drinking water;

THEREFORE, BE IT RESOLVED THAT: (i) the Province of Ontario repeal Section 6 of the Budget Measures Act (Bill 229), and (ii) that the Province continue to work with conservation authorities to find workable solutions to reduce red tape and create conditions for growth;

AND FURTHER THAT while we would prefer that Bill 229, Schedule 6 be repealed in its entirety, Council for the Town of Mono recommends the following amendments (in descending order of importance):

1. Delete the option for a person to appeal to LPAT or directly to the Minister;
2. Maintain the proposed stop work orders and property access;
3. Allow non mandatory programs as deemed advisable by each Conservation board;
4. Allow appointment of a member of the public to the Board and specify 'municipally elected official' rather than 'municipal councillor' which may exclude mayors, and continue to allow board chairs and vice chairs to serve more than one consecutive term.

"Carried"

This motion was passed unanimously.



November 25, 2020

Hon. Sylvia Jones
Solicitor General
George Drew Building, 18th Floor
25 Grosvenor St.
Toronto, ON M7A 1Y6

RE - Bill 229 and the Conservation Authorities

Dear Honourable Sylvia Jones:

Shelburne Town Council passed the following resolution unanimously at its Council meeting held Monday November 23, 2020:

Moved By Councillor Walter Benotto
Seconded By Councillor Kyle Fegan

WHEREAS the Province has introduced Bill 229, Protect, Support and Recover from COVID 19 Act - Schedule 6 - Conservation Authorities Act; and

WHEREAS the Legislation introduces a number of changes and new sections that could remove and/or significantly hinder the conservation authority's' role in regulating development, permit appeal process and engaging in review and appeal of planning applications; and

WHEREAS we rely on the watershed expertise provided by local conservation authorities to protect residents, property and local natural resources on a watershed basis by regulating development and engaging in reviews of applications submitted under the Planning Act; and

WHEREAS the changes allow the Minister to make decisions without conservation authority watershed data and expertise; and



WHEREAS the Legislation suggests that the Minister will have the ability to establish standards and requirements for non-mandatory programs which are negotiated between the conservation authorities and municipalities to meet local watershed needs; and

WHEREAS municipalities believe that the appointment of municipal representatives on Conservation Authority Boards should be a municipal decision, and the Chair and Vice Chair of the Conservation Authority Board should be duly elected; and

WHEREAS the changes to the 'Duty of Members' contradicts the fiduciary duty of a Conservation Authority Board member to represent the best interests of the conservation authority and its responsibility to the watershed; and

WHEREAS conservation authorities have already been working with the Province, development sector and municipalities to streamline and speed up permitting and planning approvals through Conservation Ontario's Client Service and Streamlining Initiative; and

WHEREAS changes to the legislation will create more red tape and costs for the conservation authorities, and their municipal partners, and potentially result in delays in the development approval process; and

WHEREAS municipalities value and rely on the natural habitats and water resources within our jurisdiction for the health and well-being of residents; municipalities value the conservation authorities work to prevent and manage the impacts of flooding and other natural hazards; and municipalities value the conservation authority's work to ensure safe drinking water;

NOW THEREFORE BE IT RESOLVED:

1. That the Province of Ontario repeal Schedule 6 of the Budget Measures Act (Bill 229);
2. THAT the Province continue to work with conservation authorities to find workable solutions to reduce red tape and create conditions for growth;
3. THAT the Province respect the current conservation authority and municipal relationships; and



4. THAT the Province embrace their long-standing partnership with the conservation authorities and provide them with the tools and financial resources they need to effectively implement their watershed management role.

CARRIED, Mayor Wade Mills

This motion was passed unanimously.

Thank You

J. Willoughby

Jennifer Willoughby
Director of Legislative Services/Clerk
Town of Shelburne

CC: Hon. Doug Ford, Premier
Hon. Rod Phillips, Minister of Finance
Hon. Jeff Yurek, Minister of the Environment, Conservation and Parks
Andrea Horwath, Leader, Official Opposition
Steven Del Duca, Leader, Ontario Liberal Party
Mike Schreiner, Leader, Green Party of Ontario
Sandy Shaw, Critic, Finance and Treasury Board
Ian Arthur, Critic, Environment
Peter Tabuns, Critic, Climate Crisis

Email copies to: NVCA, CVC, TRCA, Canadian Environmental Law Association, AMO & all Ontario municipalities



Electronic Participation

The Corporation of the Town of Orangeville
Chair and Secretary-Treasurer participated remotely

Minutes of a meeting of the Committee of Adjustment Held on October 7, 2020 at 6:00 p.m.

Members Present

Hiedi Murray, Chair
Rita Baldassarra
Grant Bennington
Jason Bertrand

Regrets

Alan Howe

Staff Present

Larysa Russell, Senior Planner
Carolina Khan, Secretary-Treasurer

Notice

The Chair, Hiedi Murray, advised of the continued closure of Town Hall and that Council Chambers is not available for the public to physically attend the Committee of Adjustment meeting. However, steps have been taken to facilitate public viewing and access.

1 Call to Order

The Chair called the meeting to order at 6:00 p.m.

2 Disclosures of (Direct or Indirect) Pecuniary Interest

None

3 Adoption of Minutes of Previous Meeting

Recommendation 2020-024

Moved by Jason Bertrand

That the minutes of the following meeting are hereby approved:

- **September 2, 2020**

Carried.

4 Statutory Public Meeting

- 4.1** In the matter of an application by Jacqueline Lynch for a minor variance to Zoning By-law 22-90, as amended, on property described as Part of Lot 143, Plan 43M-1187, Parts 18 & 19 on Reference Plan 43R-21592, municipally known as 353 Perry Road, in the Town of Orangeville, in the County of Dufferin, under the provisions of Section 45 of the Planning Act, R.S.O. 1990, c. P.13, as amended. The subject property is zoned “Residential Sixth Density (R6) Zone”. SP 24.84. File No. A-12/20.

Explanatory Note:

The applicant is requesting a minor variance to increase the maximum driveway width from 4.0 metres to 5.914 metres to accommodate the parking requirements for two dwelling units.

- 4.1.1** A report from L. Russell, Senior Planner, Infrastructure Services, dated October 7, 2020
- 4.1.2** A report from J. Lackey, Manager, Transportation & Development, dated October 1, 2020

The Chair asked if anyone wished to speak regarding the application – Jacqueline Lynch noted that the request is for a change from a 5.0 metre wide driveway to allow a 5.4 metre wide driveway.

Rita Baldassarra asked if grass would be removed to make space for the expanded driveway and was advised that no further changes would be done as the application is to permit the existing condition.

Grant Bennington asked why the Planning recommendation is to use different materials. Larysa Russell, Senior Planner explained that this is to maintain the existing condition, consisting of patio stones, to satisfy driveway requirement.

The Chair asked if anyone from the public wished to speak regarding the application – no comments made.

Moved by Jason Bertrand

That the following reports be received:

- **A report from L. Russell, Senior Planner, Infrastructure Services, dated October 7, 2020**
- **A report from J. Lackey, Manager, Transportation & Development, dated October 1, 2020**

And that the application by Jacqueline Lynch for a minor variance to Zoning By-law 22-90, as amended, on property described as Part of Lot 143, Plan 43M-1187, Parts 18 & 19 on Reference Plan 43R-21592, municipally known as 353 Perry Road, in the Town of Orangeville, in the County of Dufferin, under the provisions of Section 45 of the Planning Act, R.S.O. 1990, c. P.13, as amended, be received;

And that the request for a minor variance to increase the maximum driveway width from 4.0 metres to 5.914 metres to accommodate the parking requirements for two dwelling units, be approved, subject to the following condition:

- 1. That a maximum 5.0 metre portion of the driveway, matching the exterior extent of the garage, be paved, and the additional driveway width be constructed of a different material such as patio stones or permeable pavers.**

Carried.

5 Items for Discussion

None

6 Correspondence

None

7 New Business

Grant Bennington advised that he will be resigning from the Committee of Adjustment and will step down when another member has been appointed.

8 Date of Next Meeting

The next meeting is scheduled for November 4, 2020.

9 Adjournment

The meeting was adjourned at 6:15 p.m.



Electronic Participation
The Corporation of the Town of Orangeville
Chair and Secretary participated remotely

**Minutes of a meeting of Heritage Orangeville
Held on September 16, 2020 at 7:00 p.m.**

Members Present

Councillor Debbie Sherwood (Chair)
Lynda Addy
Linda Banks
Mark Hauck
Gary Sarazin
Martin Woodhouse

Regrets

Shokheen Singh

Staff Present

C. Khan, Deputy Clerk
B. Ward, Manager, Planning
R. Phillips, Manager, Economic Development

Notice

The Chair, Councillor Debbie Sherwood, advised of the continued closure of Town Hall and that Council Chambers is not available for the public to physically attend the Heritage Orangeville meeting. However, steps have been taken to facilitate public viewing and access.

1 Call to Order

The Chair called the meeting to order at 7:01 p.m.

2 Disclosures of (Direct or Indirect) Pecuniary Interest

None

3 Adoption of Minutes of Previous Meeting

Recommendation 2020-012

Moved by Linda Banks

That the minutes of the following meetings are hereby approved:

- **Heritage Orangeville Committee – July 15, 2020**

Carried.

4 Presentations

4.1 Lynda Addy – Heritage Training

Lynda Addy provided a presentation on the statutory requirements per the Heritage Act for councils and heritage committees, as well as other roles and responsibilities with respect to heritage conservation.

4.2 Scott Walker, Mark Conway, Steve Wever - N. Barry Lyon Consultants Ltd. & GSP Group - Strategies for Land Development - 82, 86-90 Broadway

Scott Walker, Mark Conway of N. Barry Lyon Consultants Ltd., and Steve Wever of GSP Group provided an overview of the potential considerations for the redevelopment of 82, 86-90 Broadway.

5 Reports and Items for Discussion

5.1 Footsteps from Our Past - Booklet Printing

The Committee discussed the printing of additional “Footsteps from Our Past” booklets as the Town’s supply is almost finished.

Recommendation 2020-013

Moved by Lynda Addy

That the Heritage Orangeville Committee update the “Footsteps from Our Past” booklet; and

That the Heritage Orangeville Committee dedicate up to a maximum of \$5,000 for the printing of “Footsteps from Our Past” booklet, with spiral binding

Carried.

5.2 Replacement of Heritage Designation Plaques

The Committee considered a request from Heather Little to replace the worn-out heritage plaque on her Margaret Street heritage home.

Recommendation 2020-014

Moved by Debbie Sherwood

That the request by Heather Little for the replacement of the Heritage Awareness Plaque be approved.

Carried.

5.3 Heritage Calendar

Gary Sarazin advised that the work on the 2021 Heritage Calendar is ongoing and that the theme will be COVID-19 Heroes and Heritage Homes. Once all pictures have been taken, staff from the Communications Division will assist with the design of the calendar, with the goal of publishing prior to January 2021.

The Committee also reviewed the Mayor's message for the calendar.

5.4 Quarterly Newsletter

Lynda Addy advised that a mockup of the Quarterly Newsletter will be presented at the next meeting for approval, to be printed and delivered in November.

5.5 Doors Open

The Committee discussed that Doors Open events are being hosted virtually this year. Committee members agreed to research how other towns are hosting Doors Open and will discuss at a future meeting early in the new year.

5.6 Memo from Larysa Russell, Senior Planner - Site Plan Application, File No. SP 2/2096-98 Broadway (severed property fronting onto Armstrong Street)

Brandon Ward, Manager of Planning advised that the memo was provided to the committee as an update on the development of the property, prior to the final approval of the site plan application.

Recommendation 2020-015

Moved by Martin Woodhouse

That the Memo from Larysa Russell, Senior Planner - Site Plan Application, File No. SP 2/2096-98 Broadway (severed property fronting onto Armstrong Street), be received.

Carried.

**5.7 Report from B. Ward, Manager of Planning - Heritage Orangeville:
Committee Member Appointments to Specific Roles and Responsibilities**

The Committee discussed the appointment of members to specific roles on the Heritage Orangeville Committee.

Recommendation 2020-016

Moved by Lynda Addy

**That the Report from B. Ward, Manager of Planning - Heritage Orangeville:
Committee Member Appointments to Specific Roles and Responsibilities,
be received; and**

That the following appointments to specific roles be approved as follows:

- **Heritage Permit Application Reviews: Lynda Addy (Gary Sarazin as alternate)**
- **Boulevard Café Permit Application Reviews: Mark Hauck (Martin Woodhouse as alternate)**
- **Sign Variance and Permit Reviews: Martin Woodhouse (Lynda Addy as alternate)**
- **Pre-consultation Meeting Attendance: Lynda Addy (Gary Sarazin as alternate); and**

**That the Façade Improvement Program applications be reviewed by the
whole Heritage Orangeville Committee.**

Carried.

5.8 Heritage District Expansion - Merchants and Prince of Wales

The Committee deferred this item to the October or November meeting.

6 Correspondence

6.1 CHO Newsletter

Recommendation 2020-017

Moved by Councillor Sherwood

That the CHO Newsletter, be received.

Carried.

6.2 2021 Meeting Calendar – Heritage Orangeville Committee

Recommendation 2020-018

Moved by Councillor Sherwood

That the 2021 Meeting Calendar – Heritage Orangeville Committee, be received.

Carried.

7 New Business

Councillor Sherwood canvassed the Committee regarding a preferred meeting time going forward. The Committee agreed that the meeting time should continue to be 7:00 p.m.

Martin Woodhouse advised that while working on the calendar project, some owners of heritage homes expressed an interest in heritage designations.

8 Date of Next Meeting

The next meeting to be held on October 21, 2020 at 7:00 p.m.

9 Adjournment

The meeting adjourned at 9:52 p.m.



Electronic Participation
The Corporation of the Town of Orangeville
Chair and Secretary participated remotely

**Minutes of a meeting of Heritage Orangeville
Held on October 21, 2020 at 7:00 p.m.**

Members Present

Councillor Debbie Sherwood (Chair)
Lynda Addy (at 7:42pm)
Linda Banks
Mark Hauck
Gary Sarazin
Shokheen Singh
Martin Woodhouse

Staff Present

C. Khan, Deputy Clerk
B. Ward, Manager, Planning

Notice

The Chair, Councillor Debbie Sherwood, advised of the continued closure of Town Hall and that Council Chambers is not available for the public to physically attend the Heritage Orangeville meeting. However, steps have been taken to facilitate public viewing and access.

1 Call to Order

The Chair called the meeting to order at 7:00 p.m.

2 Disclosures of (Direct or Indirect) Pecuniary Interest

None

3 Adoption of Minutes of Previous Meeting

Recommendation 2020-019

Moved by Martin Woodhouse

That the minutes of the following meetings are hereby approved:

- **Heritage Orangeville Committee – September 16, 2020**
- **Façade Improvement sub-Committee – August 27, 2020**

Carried

4 Presentations

None

5 Reports and Items for Discussion

5.1 Heritage Calendar

Gary Sarazin advised that the work on the 2021 Heritage Calendar is ongoing and presented a draft of the calendar. The Committee provided input on the design and style, including contact information, pictures, and descriptions.

The Committee requested that a final draft of the calendar be completed by early November and that a special meeting be held for the purposes of approving the final draft of the calendar to facilitate the printing of the calendar in a timeline manner.

5.2 Quarterly Newsletter

Lynda Addy presented a draft of the quarterly newsletter and provided input on the design and style.

The Committee requested that staff obtain quotes for the printing of 500 newsletters and that the newsletter be completed and printed in November.

5.3 Memo from B. Ward, Manager of Planning – Blade/Projection Signs in the Downtown – Additional Design Options

Councillor Sherwood explained that the 2 blade signs that were previously recommended by the Committee and approved by Council were expensive options and the present request is to seek approval for an additional cost-effective option for BIA members.

Alison Scheel, OBIA General Manager, explained that the present request is to provide an additional cost-effective option to the OBIA membership and

displayed examples of a straight arm sign bracket and of a modular wall mount sign bracket on a building. Alison Scheel further explained that OBIA will offer an incentive program to offset the cost and has assigned a budget of \$5,000 for 2020 and is expecting increased interest in the program in 2021.

The Committee discussed the aesthetic of buildings in the heritage district with respect to the various blade sign design options and maintaining uniformity and consistency.

Alison Scheel explained that variance in blade signs could add to the character of the downtown and that uniformity could be achieved by ensuring that signs are uniformly hung and are similar in size, per the approved dimensions of the sign by-law.

Recommendation 2020-020

Moved by Martin Woodhouse

That Heritage Orangeville Committee recommend the Modular Wall Mount Sign design, as submitted by the BIA, be approved by Council.

Carried

Recommendation 2020-021

Moved by Councillor Sherwood

That the Modular Wall Mount Sign design, as submitted by the BIA, be approved by Council as an additional design to be included in the streamlined permit approval process with respect to projection signs in the Heritage Sign Special Policy District within the Downtown BIA.

Carried

6 Façade Improvement Applications

None

7 Correspondence

7.1 Greystones Restaurant and Lounge - Replacement of Windows at 63 Broadway

Councillor Sherwood advised that the property was getting new windows installed that same day and that the owner advised that the new windows are replicas of the old ones. Councillor Sherwood further presented the following statement from Bruce Ewald, Chief Building Official:

Dear Heritage Committee,

I wanted to be on the record that I support the upgrading of the windows at 63 Broadway for two very important reasons. The first is from a safety standpoint. The existing windows sills are very low in proximity to the floors and do not comply with current Building Code regulations for guards. I would hate to see someone who is unsteady or off balance fall against the existing windows as there would be very little protection from falling all the way through. Also the type of glass used in the existing windows would break in a manner that could cause severe lacerations. The second reason is one of energy efficiency, again the existing windows do not comply with current code requirements for energy efficiency. Having newer code compliant windows would greatly reduce the energy required to either heat or cool this structure. I have been assured by the contractor that the new windows are of all wood construction and match the look of the existing windows as closely as possible.

The Committee looked at pictures of what the replacement windows look like. Councillor Sherwood advised that she asked that the brickwork that was removed be replaced and was advised that the exact stones will not be put back due to bad condition but will be replicated, however wherever stones from different parts of the building can be used, they will be. The framing will also be replicated, and that the property owner advised that a heritage window expert was used to achieve this.

The Committee expressed concern with the lack of compliance with heritage requirements, as there was no prior approval to replace the windows before they were installed, and requested that it be communicated to the property owner.

Recommendation 2020-022

Moved by Lynda Addy

That the request with respect to the Replacement of Windows at 63 Broadway, as submitted by Greystones Restaurant and Lounge, be approved.

Carried.

8 New Business

None

9 Date of Next Meeting

The next meeting to be held on November 18, 2020 at 7:00 p.m.

10 Adjournment

The meeting adjourned at 8:48 p.m.



Electronic Participation
The Corporation of the Town of Orangeville
Chair and Secretary participated remotely

**Minutes of a Special Meeting of Heritage Orangeville
Held on November 5, 2020 at 6:00 p.m.**

Members Present

Councillor Debbie Sherwood (Chair)
Linda Banks
Mark Hauck
Gary Sarazin

Regrets

Lynda Addy
Shokheen Singh
Martin Woodhouse

Staff Present

C. Khan, Deputy Clerk

Notice

The Chair, Councillor Debbie Sherwood, advised of the continued closure of Town Hall and that Council Chambers is not available for the public to physically attend the Heritage Orangeville meeting. However, steps have been taken to facilitate public viewing and access.

1 Call to Order

The Chair called the meeting to order at 6:12 p.m.

2 Disclosures of (Direct or Indirect) Pecuniary Interest

None

3 Reports and Items for Discussion

3.1 Heritage Calendar

Gary Sarazin presented the final draft the calendar.

The Committee considered the following printing quote options:

- \$3,068 (plus tax) for 1,500 calendar copies
- \$3,369 (plus tax) for 2,000 calendar copies

Recommendation 2020-023

Moved by Councillor Sherwood

That the Heritage Orangeville Committee approve the calendar, as presented and that 1,500 calendar copies be printed.

Carried

4 New Business

None

5 Date of Next Meeting

The next meeting to be held on November 18, 2020 at 7:00 p.m.

6 Adjournment

The meeting adjourned at 6:38 p.m.

The Orangeville Police Services Board

May 19, 2020, Via Microsoft Teams

Public Session Minutes of a Regular Meeting of the Orangeville Services Board (the Board) held on May 19, 2020

Members Present

T. Taylor, Chair

McSweeney, Vice-Chair

S. Brown

M. Rose

K. Krakar

Staff Present

Deputy Chief L. Gilfoy

Nandini Syed

Dan Benotto

K. Wallace, Secretary

B. Anderson

1. Call to Order

Chair Taylor called the meeting to order at 4:08 p.m.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

None

3. Preliminary Matters

- i. Proposed Agenda Format Changes**
- ii. New Agenda Template- Verbal Report by Vice-Chair McSweeney**

Vice-Chair McSweeney advised that there wasn't a standardized Agenda template. Mr. McSweeney tabled a track-change version of a revised proposed Agenda template for consideration by the Board to ensure greater consistency in meeting agenda formatting each month. Member Rose asked to follow up with correspondence to Vice-Chair McSweeney.

4. Approval of Agenda

Chair Taylor requested to speak to 5.2 and 5.3 to accommodate Bill Anderson.

Moved by

Seconded by

Recommendation:

That the Agenda of May 19, 2020 be approved.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes
Member Brown	-Yes

Carried

5. In Camera Meeting

Adjournment to In-Camera Meeting at 4:12 p.m.

Moved by Member Brown

Seconded by Member Rose

Recommendation:

That the Board convene into In-Camera session

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes
Member Brown	-Yes

Carried

That the Board shall convene into the In-Camera session of this meeting under Part III, Section 35(4) of the Police Services Act.

The Board convened out of In-Camera session at 4:56 p.m.

Moved by Member Rose

Seconded by Member Krakar

Recommendation:

The Board convened into Open Session at 5:09 p.m.

6. Pass any motions developed in the In-Camera Session

Recommendation:

That the Board approve the motion to accept the invoices for legal expenses.

6.1 Accounts and Financial Statements as of April 30, 2020– Verbal Report by Nandini Syed

Budget is in positive numbers. Due to Covid experience delays in receiving/paying invoices. Overview budget trending favorable variance 12.8 percent. Budget under \$384, 000. Key drivers are

salary, wage gap measures. Various vacancies explain wage gap dollars. Also received unexpected revenue from Records Checks. Deputy Chief Gilfoy advised will be receiving a Civilian Remedy Grant which will go to help Family Transition Place. Covid expenses to be adjusted accordingly as the bills come in.

Moved by Member Rose
Seconded by Member Brown

Recommendation:

That the financial statement as of April 30, 2020 be received and approved.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Kraker	-Yes

Carried

6.2 OPSB Records Transfer Project- Verbal Report by Chair Taylor

Email summary sent by Karen Landry regarding documentation at police station from history of the PSB. 15 boxes and they need to be out due to some renovations. No room to keep them. Boxes will need to be described and marked. No staff available currently and outside job description of the Board Secretary. The rate of pay for this job to be \$26.22 per hour. Board Secretary to report back to Board. Member Brown suggests to report back at the \$1000.00 expense mark.

Moved by Member Rose
Seconded by Member Brown

Recommendation:

To employ the Board Secretary for this project.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.3 **Special Meeting and Assigned Work Renumeration/Expense Reimbursement.**

Chair Taylor explained that work is being done outside the regular Board meetings. Vice-Chair McSweeney previously prepared a Special Meeting Remuneration/Expense Reimbursement Policy for Board's consideration. Discussion about procedure for submitting the claim forms to the Board for approval. For the Board Secretary to keep a summary chart of a running tally of remuneration/expenses. Member Rose ask for clarification if this is within the job description of the Board Secretary.

6.3.1 Review of proposed Further Amendment to Special Meeting and Assigned Work Remuneration/Expense Reimbursement Policy – Verbal Report by Vice-Chair McSweeney

Recommendation:

To receive and approve the Amended Special Meeting and Assigned Work Remuneration/Expense Reimbursement Policy

Moved by Member Brown

Seconded by Member Rose

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.3.2 Review of Prior Meeting/Assigned Work Chart March 24/20-May 19/ 20)

Recommendation:

To approve the Work Chart under the amended Policy and claims to be approved and submitted for approval at next Board meeting.

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes
Member Brown	-Yes

Carried

8. Adoption of Minutes of Previous Board Meetings

8.1 Minutes from the Regular Meeting (Public and In-Camera Sessions) held on March 17, 2020 – Board Secretary requested to defer Board consideration of the March 17, 2020 minutes to the June regular meeting.

8.2 Minutes from the Regular Meeting (Public and In-Camera Sessions) held on April 21, 2020 - Board Secretary asked to defer Board consideration of the April 21, 2020 minutes to the June regular meeting.

8.3 Minutes from Previous Meeting - Hand notes, no date included – Verbal Update from Secretary that a package of hand notes of minutes, were delivered with transfer of information. No dates, and unsure of when these were completed. Secretary to look into further. Matter deferred to June meeting

9. OAPSB – Secretary to update that the membership for the 2020 year has been paid and up to date. OAPSB AGM to be held on May 29, 2020. Invoice to be approved in June meeting. Todd looking into credit card for Secretary.

10. Question Period
None

11. Presentations
None

12. Delegations
None

13. Public Correspondence
None

14. Public Reports

- 14.1 **Report from Chief Kalinski by Deputy Chief Leah Gilfoy dated May 19, 2020 – Special Investigations Unit Investigation.** Female was arrested on outstanding bench warrant. During course of time in custody the accused had injected a quantity of drugs. Was transported to Headwaters. SIU decided not to invoke their mandate. June 10, 2020 SIU advised Orangeville Police that they will be commencing investigation.
- 14.2 Report from Chief Kalinski dated May 19, 2020 – Comments from the Public

Recommendation:

That the Board receive the reports from Chief Kalinski, dated May 19, 2020.

Moved by Member Krakar

Seconded by Vice-Chair McSweeney

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes
Member Brown	-Yes

Carried

15. **PSB Website** -Board Secretary to advise that there will be a time to connect with Andrea McKinney as suggested by Member Brown to dovetail the PSB website with the Town website.
16. **New Business**
None

17. Adjournment

Moved by Member Brown

Seconded by Member Rose

Chair Taylor -Yes

Vice-Chair McSweeney -Yes

Member Rose -Yes

Member Krakar -Yes

Member Brown -Yes

Carried

That the meeting adjourn at 6:34 p.m.

Todd Taylor, Chair

Kerry Wallace, Secretary

The Orangeville Police Services Board

June 16, 2020, Via Microsoft Teams

Public Session Minutes of a Regular Meeting of the Orangeville Services Board (the Board) held on June 16, 2020

Members Present

T. Taylor, Chair

I. McSweeney, Vice-Chair

S. Brown

M. Rose

K. Krakar

Staff Present

Chief W. Kalinski

Deputy Chief L. Gilfoy

Nandini Syed

Dan Benotto

K. Wallace, Secretary

1. Call to Order

Chair Taylor called the meeting to order at 4:02 p.m.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

None

3. Preliminary Matters

None

4. Approval of Agenda

Moved by Vice-Chair McSweeney

Seconded by Member Rose

That the Agenda of June 16, 2020 be approved.

Chair Taylor	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

5. In-Camera Meeting

Adjournment to In-Camera Meeting at 4:12 p.m.

Moved by Member Brown

Seconded by Member Rose

Recommendation:

That the Board convene into In-Camera session

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Krakar	-Yes
Member Brown	-Yes

Carried

That the Board shall convene into the In-Camera session of this meeting under Part III, Section 35(4) of the Police Services Act.

The Board convened into the In-Camera Session at 4:07 p.m.

The Board re-convened into the Public Session.

Chair Taylor called meeting to order at 5:07 p.m.

6 Public Session

- 6.1 OPP Official Confirmation May 22, 2020 – Chair Taylor updates the letter that Ontario has accepted the invitation for OPP to serve Orangeville.

Moved by Member Brown

Seconded by Vice-Chair McSweeney

Recommendation:

To receive the letter from OCPC dated May 22, 2020

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.2 **OPP Transition**

Verbal Update by Chair Taylor. Email from Andrea McKinney to Chair Taylor advised that the building renovations are going well and interviews are progressing in a positive fashion. The transition to the OPP is on track for October 2020.

6.3 **Amended Special Meeting Policy – Verbal Report by Vice-Chair McSweeney.**

Board Secretary to complete special meeting claim forms for submission and to complete an ongoing Semi-Annual chart for reference. Board Secretary directed to remove watermark, post on website and circulate to Board members.

Moved by Member Rose

Seconded by Member Brown

Recommendation:**To approve and receive the amended Special Meeting Policy**

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.4 Records Retention By-Law – Verbal Report by Vice-Chair McSweeney.

Discussion of two sets of records to organize for the transition to OPP. Discussion of how records are tracked, ideas for storage such as storing in a digital format, and the physical storage location of such records to be determined. Chief Kalinski advised on seeking advice from the transition team. Suggested that the Orangeville Police Service Board Records to be physically stored by the Town under the OPSB Retention By-Law. Chair Taylor to follow up and discuss at next meeting in July.

Moved by Member Brown
Seconded by Member Rose

Recommendation:**To Receive the Records Retention By -Law update**

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes

Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.5 PSB Records Transfer Update – Verbal Update by K. Wallace

The Board Secretary met with Ms. Landry and discussed the procedure of the organization of the 15 PSB boxes. Completed 8 boxes. Sergeant White advised that he has additional boxes. Vice-Chair McSweeney advised that the Town cannot hold these boxes under their retention policy, it has to be under the PSB retention by-law. Chair Taylor will follow up with the Town and report back to the Board. To be added on July's Agenda for further update.

Moved by Member Rose

Seconded by Member Brown

Recommendation:

To Receive the verbal update by K. Wallace regarding the PSB Records Transfer

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.6 PSB Website Update - Verbal Report by K. Wallace.

Board Secretary to reach out to Andrea McKinney for discussion on new website options. To follow up at July meeting.

6.7 Confirmation of Upcoming Regular PSB Meeting Schedule

Chair Taylor to confirm the following dates; July 21, 2020, August 18, 2020, September 15, 2020, October 20, 2020, November 17, 2020, December 15, 2020. The Board Secretary was directed to send out calendar invitations to the Board members.

Moved by Member Brown

Seconded by Vice-Chair McSweeney

Recommendation:

To approve all upcoming dates for the PSB Meetings

Chair Taylor -Yes

Vice-Chair McSweeney -Yes

Member Brown -Yes

Member Rose -Yes

Member Krakar -Yes

Carried

6.8 Black Lives Matter – Verbal Update by Chair Taylor and Member

On Sunday June 14, 2020 there was a Black Lives Matter march held. Member Brown mentioned that the speakers at the march were well spoken. During the Town Hall session that was hosted, was a positive meeting with good questions asked with regards to neck restraint. Both Police Forces indicated that, that type of restraining is not part of training in Ontario. Chief Kalinski advised that Orangeville Police have had challenges when recruiting a diverse

Service due to lack of interest. Letter to be sent to OPP to address when hiring to be inclusive of a diverse background.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

7 Pass any motions developed in the In-Camera Session

None

8 Approval of Minutes

8.1 Minutes from the Regular Meeting (Public and In-Camera Sessions) held on March 17, 2020 – Board Secretary requested to defer Board consideration of the March 17, 2020 minutes to the July regular meeting.

8.2 Minutes from the Regular Meeting (Public and In-Camera Sessions) held on April 21, 2020 - Board Secretary asked to defer Board consideration of the April 21, 2020 minutes to the July regular meeting.

8.3. Minutes from the Regular Meeting (Public and In-Camera Sessions) held on May 19, 2020 - Board Secretary asked to defer Board consideration of the May 19, 2020 minutes to the July regular meeting.

8.2 Approval of May 19, 2020 Minutes

To be deferred to the July 21, 2020 Meeting

Moved by Chair Taylor

Seconded by Member Krakar

Recommendation:

For the Approval of meeting Minutes of April 21, 2020 and May 19, 2020 to be approved of at the July 21, 2020 meeting.

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes
Member Krakar	- Yes

Carried

9.1 Financials – Nandini Syed provided an update.

Ms. Syed advised that the overall trend is in a positive note. Looking at a favorable variance of close to \$800,000 which is currently under budget. Wage gap measures and communication section. Member Rose asked how the carry over the changeover. The budget will carry through to the end of the year. Member Rose asked if there is recourse to help with the Covid money that has been spent. Municipal Staff are continuing to monitor what is available for monetary relief for Covid-19. Member Rose asked the Chief vehicle 4903 if that vehicle is not in use, as there is no record. Chief Kalinski advised that there was a vehicle that was decommissioned as it related to community services and that vehicle has expired. Chief Kalinski advised that they are filling the front line, but there are vacancies that are not being filled, so the dollar is not being spent.

Moved by Member Rose

Seconded by Member Krakar

Recommendation:

To receive the Financial Report as of May 31, 2020

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

9.2 Invoice for OASPB Membership for the year 2020

Update by Board Secretary. Invoice to approve the expense.

Moved by Member Brown

Seconded by Member Rose

Recommendation:

To approve the expense of the OASPB Membership for the year 2020.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

9.3 Review of Special Meeting and Assigned Work

Remuneration/Expense Reimbursement – Claim forms for remuneration reviewed and approved. Secretary directed to publish the quarterly report on the website after Remuneration/Expenses are approved by the Board

Moved by Member Brown
Seconded by Member Krakar

Recommendation:

For the Board to receive and approve the remuneration claims.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

9.4 Board Credit Card Status Update

The Board Secretary advised that an application has been made for a credit card for the Board and is awaiting for confirmation from Katie Lynn.

9.5 Invoice for PSB Records Transfer

Secretary has advised that eight boxes have been completed at this time.

Moved by Member Brown
Seconded by Member Rose

Recommendation:

To approve K. Wallace invoice for the PSB Records Transfer Project.

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

10. Question Period

None

11. Presentations

None

12. Delegations

None

13. Correspondence

None

14. Reports

14.1 Report from Chief Kalinski dated June 16, 2020 – Withdrawal of Complaint

14.2 Report from Chief Kalinski dated June 16, 2020 – Comments from the Public

14.3 Report from Chief Kalinski dated June 16, 2020 - Resignation of Constable Ryan Schreyar

Moved by Member Brown

Seconded by Member Krakar

Recommendation:

To receive the reports dated June 16, 2020 submitted by Chief Kalinski

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

15. New Business

Member Rose asked if there is an update that can be shared with regards to the Opioid crisis. Is Orangeville seeing an increase? Chief Kalinski advised that persons are responded to who are in crisis and officers are continually being vigilant with trafficking narcotics in Orangeville. Mayor Brown followed up and advised that Chief Kalinski and staff assisted residents in Orangeville and worked to arrest and stop a drug den in Orangeville Mayor Brown extends his thanks for the work done.

Duane Sprague sends his thanks to Chief Kalinski and Deputy Chief Gilfoy for their work on correspondence with memos and surveys.

16. Adjournment

Moved by Member Rose
Seconded by Member Brown

Recommendation:

That the meeting to adjourn at 7:27 p.m.

Chair Taylor	– Yes
Vice-Chair McSweeney	– Yes
Member Brown	– Yes
Member Rose	– Yes
Member Krakar	– Yes

Carried

Todd Taylor, Chair

Kerry Wallace, Secretary

Orangeville Police Services Board Regular Meeting (Public Session) Minutes

Location – Electronic Participation Conducted Online Via Microsoft Teams

Date/Time – Tuesday July 21, 2020 @ 5:00 p.m.

Members Present

T. Taylor, Chair
I. McSweeney, Vice-Chair
S. Brown
M. Rose
K. Krakar

Staff Present

Chief W. Kalinski
Deputy Chief L. Gilfoy
Andrea McKinney
Dan Benotto
Karen Landry
K. Wallace, Secretary

1. Call to Order

Chair Taylor called the meeting to order at 4:06 p.m.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

None

3. Preliminary Matters

None

4. Approval of Agenda

PSB Regular Meeting (Public Session) Minutes for July 21, 2020

Board review and discussion

Recommendation :

That the Agenda for the August 18, 2020 In-Camera Police Services Board Meeting be approved.

Moved by Member Rose

Seconded by Member Krakar

Chair Taylor	– Yes
Vice-Chair McSweeney	- Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

5. In-Camera Meeting

Recommendation :

That the Board shall convene into the In-Camera Session of this meeting under Part III, Section 35(4) of the Police Services Act for the following matters:

Moved by Member Brown

Seconded by Member Krakar

Chair Taylor	– Yes
Vice-Chair McSweeney	- Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

The Board re-convened into the Public Session of the Meeting @ 5:00 p.m.

6. Public Session

Recommendation:

That the In-Camera Meeting be adjourned at 4:49 p.m. and re-convene the Public Session.

Moved by Member Brown

PSB Regular Meeting (Public Session) Minutes for July 21, 2020

Seconded by Member Krakar

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.1 OPS Diversity Letter

Chair Taylor provided an update of the diversity letter explaining that it was sent to the OPP. It outlined how Orangeville would like to see more diversity within the police service during the hiring process.

Recommendation:

That the Board receive the OPS Diversity Letter dated June 24, 2020

Moved by Member Rose

Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.2 Guest Speaker – OPP Superintendent Dwight Peer

The Board welcomed Superintendent Dwight Peer. Mr. Peer provided the Board with a summary of his work history of 31 years with the OPP, and his current position with the OPP. There were questions from the Board provided to Mr. Peer in advance for him to comment on. The Board was advised that there will be an interim Detachment Commander, Nicole Randall from the Dufferin OPP Detachment as of August 2020.

The matters that were touched on by Mr. Peer included: violent crime, prisoner care, animal control, traffic enforcement, community events, towing, foot patrol.

There is a detailed outline of what was discussed that will be posted to the OPSB website for the public.

6.3 OPP Transition Update

Andrea McKinney provided the Board with an update of the OPP Transition. Staff have continued to meet weekly with the OPP. Still on target for transition date. The Town has been working alongside on the renovation for the OPP building. Construction to commence August and to be completed in October and remain within the Town's budget.

6.4 Mental Health Survey

Mary Lou Archer updated the Board on the survey. The purpose of the survey is to determine what mental health resources are available to OPS. Larger services have a COAST team police officer paired up with mental health worker. There was a pilot project that ran from January to March 2020, having a police officer attend on scene with a mental health worker to deescalate issues, and in turn had a 17 percent reduction in taking people to the hospital during a crisis. Unfortunately, the pilot project has come to an end and currently not using the COAST Model.

Recommendation:

That the Board receive the report.

Moved by Member Krakar

Seconded by Member Rose

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.5 PSB Website Update

Andrea McKinney updated the Board that the Town is in the process of creating a new website and could include the OPSB website. The Town would be prepared to offer the Board a portion on their website.

6.6 OPS Records Post Disbandment

Andrea McKinney advised the Board that the records need to be maintained historical transition to Town responsibility. The Town has been working with OPP and OPS. Space has been provided to the Board for storage of the records. Karen Landry is leading the records project and advised that records of a sensitive nature would be in the vault at Town Hall. Member McSweeney reminded the

PSB Regular Meeting (Public Session) Minutes for July 21, 2020

Board that there are two sets of records, OPS and OPSB Board records. The records retention by-law recognizes the Board is not transferring ownership of records, simply using the Town to use to store.

There will be an update at the August 18, 2020 meeting.

6.7 OPP Detachment Board Composition

Chair Taylor updated the Board with a letter. Member Krakar asked the question if the Police Service Boards will be amalgamated into one Board.

Member McSweeney expects there will be a consultation prior to any decisions being made.

Recommendation:

That the Board receive the OPP Detachment Board Composition letter.

Moved by Member Krakar

Seconded by Member Rose

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.8 Ride Grant Application

Chief Kalinski commented on the 2020/2021 Ride Grant that was submitted in October of 2019. This grant is transferrable to the OPP. The monies are utilized to send out staff to conduct ride programs throughout the holiday season.

Member McSweeney asked, if the Chief given that the public is entering phase 3 of COvide, does the Chief exoect and enhanced increase? The Chief advised that the OPS will respond to any programming.

Recommendation:

That the Board receive the Ride Grant Application

Moved by Member Krakar

Seconded by Member Rose

Chair Taylor	-Yes
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6.

PSB Regular Meeting (Public Session) Minutes for July 21, 2020

Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

6.9 Remuneration Claim Form Submissions

Vice-Chair McSweeney outlined to the Board the reasons for the claim form submissions.

Recommendation:

That the Board receive and approve the remuneration claim forms.

Moved by Member Rose

Seconded by Member McSweeney

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

7. Pass Any Motions Developed in the In-Camera Session

None

8. Adoption of Minutes of Previous Board Meetings

8.1 Minutes from April 21, 2020 Regular Meeting

8.2 Minutes from May 19, 2020 Regular Meeting

8.3 Minutes from June 16, 2020 Regular Meeting

Recommendation:

That the Board approve and receive the Minutes from April 21, 2020, May 19, 2020 and June 16, 2020

Chair Taylor requested that a Special Meeting be scheduled to approve the minutes.

9. Accounts and Financial Statements**9.1 Police Operating Actuals vs. Budget, as of June 30, 2020**

Recommendation:

That the Police Operating Actuals vs. Budget, as of June 30, 2020 be received.

Moved by Member Rose

Seconded by Member Krakar

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

10. Question Period

A member of the public, Noel Ramsey asked the question of how the public will be kept apprised of the details of the transition to OPP. Mr. Ramsey expressed that there is a concern that some of the OPS officers will not move forward with the OPP

Chair Taylor advised that the interview process is ongoing and will be completed shortly. Upon completion of the interviews, there will be an announcement. Member Brown advised that the letters of offer will be sent out in September to new hires.

Chair Taylor advised that Superintendent Dwight Peer and Detachment Commander Nicole Randall are willing to work with the community and advise of such correspondence.

Chief Kalinski advised that residents and council are currently contacting the OPS directly and will be mentoring everything post disbandment to the OPP.

Councillor Debbie Sherwood asked if the Board has discussed applications for grants with the OPP, and who takes care of the grant applications, Town staff or the OPP? Chair Taylor advised that grant applications are ongoing.

Chief Kalinski reported that the OPS is currently applying for grants that are available to the OPS and are able to be transferred to the OPP.

11. Presentations

None

12. Delegations

None

13. Correspondence

None

14. Reports

14.1 Report from Chief Kalinski dated July 21, 2020, Freedom of Information Coordinator

Recommendations:

That the Board receive the Report dated July 21, 2020, Freedom of Information Coordinator

14.2 Report from Chief Kalinski dated July 21, 2020, Employee Termination

Recommendations:

That the Board receive the Report dated July 21, 2020, Employee Termination

14.3 Report from Chief Kalinski dated July 21, 2020, Employee Resignation

Recommendations:

That the Board receive the Report dated July 21, 2020, Employee Resignation

14.4 Report from Chief Kalinski dated July 21, 2020, Transition of Fire Dispatch Services from the Orangeville Police Service to the Town of Tillsonburg

Recommendations:

That the Board receive the Report dated July 21, 2020, Transition of Fire Dispatch Services from the Orangeville Police Service to the Town of Tillsonburg

14.5 Report from Chief Kalinski dated July 21, 2020, Comments from the Public

Recommendations:

That the Board receive the report dated July 21, 2020, Comments from the Public

PSB Regular Meeting (Public Session) Minutes for July 21, 2020

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

15. New Business

None

16. Adjournment

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Brown	-Yes
Member Rose	-Yes
Member Krakar	-Yes

Carried

Meeting adjourned at 7:05 p.m.

Confirmation of date and time of next meeting – Tuesday August 18, 2020 @
5:00p.m., Via Microsoft Teams

Orangeville Police Services Board Regular Meeting (Public Session Minutes)

**Location – Electronic Participation Conducted Online Via
Microsoft Teams**

Date/Time – Tuesday August 18, 2020 @ 5:00 p.m.

Members Present

T. Taylor, Chair

I. McSweeney, Vice-Chair

S. Brown

M. Rose

K. Krakar – Sends Regrets

Staff Present

K. Wallace, Secretary

Chief Kalinski

Deputy Chief Leah Gilfoy

Andrea McKinney

1. Call to Order

Chair Taylor called the meeting to order at 5:05 p.m.

The Board re-convened into the In-Camera Session of the meeting at 5:05 p.m.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

None.

3. Preliminary Matters

None.

4. Approval of Agenda

Board review and discussion

Recommendation:

That the Board approve the Agenda for the August 18, 2020 Orangeville Police Services Board Regular Meeting approved as amendment in item 6.2 and 6.4 to change wording.

Moved by Member McSweeney

Seconded by Member Brown

Chair Taylor - Yes

Vice-Chair McSweeney - Yes

Member Brown - Yes

Member Rose - Yes

Carried

5. In-Camera Session

Recommendation:

That the Board shall convene into the in-camera session of this meeting under Part III, Section 35(4) of the Police Services Act.

6. Public Session

Recommendation:

That the Board shall reconvene into the public session of this meeting.

6.1 Guest Speaker – Mr. George Dixon, Chair of the Midland Police Services Board

Chair Taylor advised the Board that due to a scheduling conflict Mr. Dixon is unable to attend.

6.2 PSB Award re: pay increase, educational allowances, and severance – Update by Chair Taylor

Recommendation:

That the Board accept the agreement letter.

Moved by Member Brown
Seconded by Member Rose

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.3 OPP Recruitment Press Release, August 11, 2020 – Update by Chair Taylor

Recommendation:

That the Board receive the OPP Recruitment Press Release, August 11, 2020

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.4 OPSB and OPS Arbitration Award, August 7, 2020– Update by Chair Taylor

Recommendation:

That the Board Receive and Approve the OPSB and OPS Arbitration Award, August 7, 2020

Moved by Member Brown
Seconded by Member Rose

Chair Taylor	- Yes
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4.

PSB Regular Public Meeting Minutes for August 18, 2020

Vice-Chair McSweeney - Yes
Member Brown - Yes
Member Rose - Yes

Carried

6.5 PSB Meeting Regrets from Member Krakar – Update by Chair Taylor

Recommendation:

That the Board receive Meeting Regrets from Member Krakar

Moved by Member Rose
Seconded by Member Brown

Moved by Member Brown
Seconded by Member Rose

Chair Taylor - Yes
Vice-Chair McSweeney - Yes
Member Brown - Yes
Member Rose - Yes

Carried

6.6 Cedar Drive Concerns, August 8, 2020 – Update by Chair Taylor

Recommendation:

That the Board receive the email re: Cedar Drive Concerns, August 8, 2020

Chief Kalinski advised the Board that the Orangeville Police attended Cedar Drive on 4 occasions; July 7, July 17, July 24, and August 7 to conduct traffic enforcement with no traffic violation during those dates.

Vice-Chair McSweeney asked the Chief if there is sufficient signage in that location, being in a school zone. Chief Kalinski advised for signage issues to be deferred to Public Works. Chair Taylor will follow up with Public Works.

Moved by Member Brown
Seconded by Vice-Chair McSweeney

Chair Taylor - Yes

Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.7 Orangeville Police Service Grants – Update by Chief Kalinski

Recommendation:

That the Board receive the report, Orangeville Police Service Grants, August 18, 2020.

Chief Kalinski shared the report for 2020. OPS has not yet received the County Court Security Grant of 125, 000. Court security and prisoner transfer grant of \$266,000 and expecting more. Ride grant \$8049.00, Still awaiting a grant from Civil Intelligence. The total amount received to date is \$439, 712.00 and anticipated to receive a total amount of \$1, 231,627.00.

Moved by Member Brown
Seconded by Member Rose

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.8 OPS 2020 Stats – Update by Chief Kalinski and Member Brown

Recommendation:

That the Board receive the report, OPS 2020 Stats.

Chief Kalinski reported that traffic enforcement is down. There has been a decrease of 38% from 2019 to 2020 in property damage accidents as well as a decrease of 42% of personal injury accidents. Chief Kalinski assured that OPS is providing enforcement in a positive manner and expectations have been shared to officers and to continue to conduct traffic enforcement.

Chair Taylor asked if there has been direction to not issue tickets during the transition. Chief Kalinski advised that is not the case and it is business as usual

up until the transition. The Board requested to have police presence on certain roads in Town to assist with traffic enforcement.

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.9 Criminal Record Checks – Update by Chief Kalinski

Recommendation:

That the Board receive the Criminal Record Checks Update by Chief Kalinski.

Chair Taylor advised that he received an email regarding a resident unable to complete a criminal record check. Chief Kalinski advised that OPS had closed the doors during COVID. Chief Kalinski advised that there was a complaint filed by a resident requesting a vulnerable sector check which can only be done physically at the station and involves fingerprinting. The Chief offered personal service to fulfill the check and the offer was declined.

Moved By Member Rose
Seconded By Member Brown

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

6.10 Re-Opening of the Orangeville Police Station – Update by Chief Kalinski

Recommendation:

That the Board receive the update re: Opening of the Orangeville Police Station

7.

PSB Regular Public Meeting Minutes for August 18, 2020

Chief Kalinski advised the Board that the OPS station has reopened to the public on Tuesday August 4, 2020. OPS is employing the COVID model and precautions are being implemented such as masks, hand sanitizer etc. There is an average of 12 people per day that attend the station at this time.

Moved by Member Rose
Seconded by Member Brown

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

7. Pass Any Motions Developed in Closed Session

Recommendation:

That the following closed session motions be adopted by the Board:

None.

8. Adoption of Minutes of Previous Board Meetings

Board review and discussion

Recommendation:

That the minutes of the following meetings be approved:

8.1 Minutes from March 17, 2020, Regular PSB Meeting

8.2 Minutes from July 21, 2020, Regular PSB Meeting

8.3 Minutes from August 6, 2020 Special PSB Meeting

Minutes from March 17, 2020 to be put on next agenda. The Board directed the secretary to locate the public minutes

Minutes from July 21, 2020 and August 6, 2020 approved

Moved by Member Bown
Seconded by Vice-Chair McSweeney

8.

PSB Regular Public Meeting Minutes for August 18, 2020

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

9. Accounts and Financial Statements

Recommendation:

For the Board to receive the financial statement.

Chief Kalinski reported 5% under budget.

Andrea McKinney advised anything outstanding as of September 30, 2020 will be closed off. Chair Taylor advised the public that there will be a report provided closer to the transition date.

Moved by Member Rose

Seconded by Member Brown

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

9.2 Renumeration Claim Form Submissions from PSB Board Members

Recommendations:

That the Board receive and approve the remuneration claims.

PSB Regular Public Meeting Minutes for August 18, 2020

T.Taylor	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
I.McSweeney	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
S. Brown	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
M. Rose	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
K.Krakar	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
K.Wallace	Special Meeting	August 6, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
T.Taylor	Mediation	August 7, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020
I.McSweeney	Mediation	August 7, 2020	Remuneration	\$100.00	August 18, 2020	August 28, 2020

Moved by Member Brown
Seconded by Member Rose

Chair Taylor - Yes
Vice-Chair McSweeney - Yes
Member Brown - Yes
Member Rose - Yes

Carried

10. Question Period

Councilor Sherwood asked the question if the phone system is reusable by the OPP. Andrea McKinney advised that the phone system is reusable and will be transferred to the Town.

Dorthy Peterson, a resident expressed concern that she was unable to complete a vulnerable sector check due to OPS being closed for fingerprinting. Chief Kalinski offered assistance to render the completion of this request and to ensure that residents are satisfied with the service provided by OPS.

11. Presentations

None

12. Delegations

None

13. Correspondence

None

14. Reports

Board review and discussion

14.1 Report from Chief Kalinski, Resignation of Special Constable Kody Fry, August 18, 2020.

Recommendation:

That the Board receive the report from Chief Kalinski, Resignation of Special Constable Kody Fry, August 18, 2020.

14.2 Report from Chief Kalinski, Transfer of Dispatch Services – Shelburne Police, August 18, 2020

Recommendation:

That the Board receive the report from Chief Kalinski, Transfer of Dispatch Services – Shelburne Police, August 18, 2020

14.3 Report from Chief Kalinski, Orangeville Police Service Board Funds, August 18, 2020

Recommendation:

That the Board receive the report from Chief Kalinski, Orangeville Police Service Board Funds, August 18, 2020

Chief Kalinski requested that the Board approve that the treasury department transfer the outstanding funds to the Orangeville Food Bank and the Salvation Army.

All reports have been approved and received by the Board.

Moved by Member Brown
Seconded by Member Rose

Chair Taylor	- Yes
Vice-Chair McSweeney	- Yes
Member Brown	- Yes
Member Rose	- Yes

Carried

15. New Business

None

16. Adjournment

Recommendation:

That the meeting be adjourned at 6:10 p.m.

Confirm Date and Time of Next Meeting – Tuesday September 15, 2020

Moved by Member Rose
Seconded by Chair Taylor

Chair Taylor	– Yes
Vice-Chair McSweeney	- Yes
Member Brown	-Yes
Member Rose	-Yes

Carried

Orangeville Police Services Board Regular Meeting (Public Session Minutes)

**Location – Electronic Participation Conducted Online Via
Microsoft Teams**

Date/Time – Tuesday September 15, 2020 @ 5:00 p.m.

Members Present

T. Taylor, Chair

I. McSweeney, Vice-Chair

S. Brown

M. Rose

K. Krakar

Staff Present

K. Wallace, Secretary

Chief Kalinski

Sergeant Archer

Andrea McKinney

1. Call to Order

Chair Taylor called the meeting to order at 5:03 am.

2. Disclosures of (Direct or Indirect) Pecuniary Interest

None

3. Preliminary Matters

None

4. Approval of Agenda

Board review and discussion

Recommendation:

That the Board approve the Agenda for the September 15, 2020 Orangeville Police Services Board Regular (Public Session) Meeting.

Moved by Member Krakar
Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

5. In-Camera Meeting

Recommendation:

That the Board shall convene into the in-camera session of this meeting under Part III, Section 35(4) of the Police Services Act.

6. Public Session

Recommendation:

That the Board shall reconvene into the public session of this meeting.

6.1 Guest Speaker – Mr. George Dixon, Chair of the Midland Police Services Board

Mr. Dixon was asked about his experience dealing with transition issues when the Midland Police Services Board transferred to the OPP. The Board's section change from 31 to 10 relieves the Board of many responsibilities. For example the Midland Board has found that they are now able to devote more time and attention to represent the community along with the policing agency, and able to concentrate on the community policy as opposed to matter of labour relations and grievances. Overall, Mr. Dixon 's experience with respect to the transition to OPP was a positive one.

6.2 Community Safety Grant

Recommendation:

That the Board receive the application letter.

Chief advised this grant is captured in Item 14.2.

6.3 COVID Data Base – Update by Mary Lou Archer

Recommendation:

That the Board receive the update.

Chief advised this matter is captured in Item 14.3.

6.4 Intelligence Notes – Data Collection and Review – Update by Chief Kalinski

Recommendation:

That the Board Receive and the data collection review.

6.5 OPSB and OPS Record Retention

Recommendation:

That the Board receive and approve the draft Archival Service Agreement and related Board resolutions prepared and revised by Vice-Chair McSweeney following the Board's August 25th and Sept 8th meetings.

Andrea McKinney advised the Board the Town has reviewed the draft Agreement internally and had a few comments. The Town requested to have access to the records subject to the Board's approval. Vice-Chair McSweeney proposed passing a motion approving the resolutions and directing him to revise the Agreement to accommodate the Town's comments and prepare execution copies of the Agreement and the resolutions.

Moved by Member Rose

Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

6.6 OAPSB – Body Worn Cameras

Recommendation:

That the Board receive the email letters from Holly Doty re: Body Worn Cameras.

Chair Taylor advised that the Orangeville Police Service does not wear Body worn cameras. The letter was received by the Board.

Moved by Member Rose

Seconded by Member Brown

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

7. Pass Any Motions Developed in Closed Session

Board review and discussion

Recommendation:

That the following closed session motions be adopted by the Board:

None.

8. Adoption of Minutes of Previous Board Meetings

8.1 Minutes from the August 18, 2020 Regular PSB Meeting (Public Session)

Recommendation:

PSB Regular Meeting (Public Session) Minutes for September 15, 2020

That the minutes for the August 18, 2020 Regular PSB Meeting (Public Session) be approved subject to revisions suggested by Vice-Chair McSweeney.

The approved revised meeting minutes for August 18, 2020 to be sent to Vice-Chair McSweeney for final review.

Moved by Member Brown
Seconded by Chair Taylor

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes

Carried

9. Accounts and Financial Statements

9.1 Police Operating Actuals vs. Budget, ending August 31, 2020

Board review and discussion

Recommendations:

That the Police Operating Actuals vs. Budget, August 31, 2020 be received.

Chief Kalinski advised the Board that the Orangeville Police Services are operating at 10.8 percent under budget.

Moved by Member Brown
Seconded by Member Krakar

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

9.2 Remuneration Claim Form Submissions from PSB Board Members

PSB Regular Meeting (Public Session) Minutes for September 15, 2020

Recommendations:

T.Taylor	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
I.McSweeney	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
S. Brown	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
M. Rose	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
K.Krakar	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
K. Wallace	Special Meeting	August 25, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
I.McSweeney	Meeting with Counsel and Town	Sept 4 & 10, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept. 25, 2020
T.Taylor	Meeting with Counsel and Town	Sept 4 & 10 2020	Remuneration	\$100.00	Sept 15, 2020	Sept. 25, 2020
T.Taylor	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
I.McSweeney	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
M.Rose	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
S. Brown	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
K.Krakar	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020
K. Wallace	Special Meeting	Sept 8, 2020	Remuneration	\$100.00	Sept 15, 2020	Sept 25, 2020

That the Board receive and approve the remuneration claims.

Vice-Chair McSweeney reminded the Board members to decide when they would like to receive the updated report to view the remuneration claims.

Moved by Member Brown
Seconded by Member Krakar

Chair Taylor -Yes
Vice-Chair McSweeney -Yes

Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

10. Question Period

None

11. Presentations

None

12. Delegations

None

13. Correspondence

None

14. Reports

Board review and discussion

14.1 Report from Chief Kalinski, Resignation of Jaime-Lee Galbraith, September 15, 2020.

Recommendation:

That the Board receive the report from Chief Kalinski, Resignation of Jaime-Lee Galbraith, September 15, 2020.

14.2 Report from Chief Kalinski, Operational Plan, September 15, 2020

Recommendation:

That the Board receive the report from Chief Kalinski, Operational Plan, September 15, 2020.

14.3 Report from Chief Kalinski, First Responders COVID -19 Portal, September 15, 2020

Recommendation:

That the Board receive the report from Chief Kalinski, First Responders COVID-19 Portal, September 15, 2020

14.4 Report from Chief Kalinski, Comments from the Public

Recommendation:

That the Board receive the report from Chief Kalinski, Comments from the Public, September 15, 2020

14.5 Report from Chief Kalinski, Community Safety and Policing Grant, September 15, 2020

Recommendation:

That the Board receive the report from Chief Kalinski, Community Safety and Policing Grant, September 15, 2020

Sergeant Archer advised the Board that she reached out to the Ministry to see if OPS can apply for the grant, with being disbanded. In working with Victim Services, OPS was able to obtain grant monies for human trafficking.

The Board received the above reports from Chief Kalinski.

Moved by Member Brown

Seconded by Vice-Chair McSweeney

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried

15. New Business

None

16. Adjournment

Recommendation:

That the meeting be adjourned at 7:03p.m.

Confirm Date and Time of Next Meeting – Tuesday October 20, 2020 @ 5:00 p.m.

Moved by Member
Seconded by Member

Chair Taylor	-Yes
Vice-Chair McSweeney	-Yes
Member Rose	-Yes
Member Brown	-Yes
Member Krakar	-Yes

Carried



The Corporation of the Town of Orangeville
Electronic Virtual Meeting
87 Broadway, Orangeville, Ontario

**Minutes of a meeting of Sustainable Orangeville
Held on November 3, 2020, at 7 p.m.**

Members Present:

Councillor Grant Peters
Martina Rowley
Mark Whitcombe

Tammy Woods
Jeff Lemon
Matthew Smith

Regrets:

Janice Quirt
Andrew Seagram

Charles McCabe
Jessica Marchildon

Staff Present:

Charles Cosgrove, Manager of Facilities & Parks
Andrea Shaw, Committee Secretary
Ray Osmond, General Manager, Community Services
Kevin Barry, Parks Supervisor

Guests Present:

Rob Koekkoek, President, Orangeville Hydro
Sylvia Bradley
Shaun and Jean Booth
Chris Burton
Max Waters

1 Call to Order

The Chair called the meeting to order at 7:01 p.m.

2 Disclosures of (Direct or Indirect) Pecuniary Interest

None stated.

3 Approval of Agenda

That the agenda for November 3, 2020 be hereby approved.
Moved by M. Whitcombe

4 Adoption of Minutes of Previous Council Meeting

That the minutes of October 6, 2020 meeting are hereby approved.
Moved by M. Smith

Carried.
Recommendation Number 02

5 Presentation – Rob Koekkoek, President, Orangeville Hydro – Roof Top Solar

Committee Chair Grant Peters introduced Orangeville Hydro President, Rob Koekkoek. Mr. Koekkoek presented to the committee on roof top solar programs and opportunities. Within Orangeville there are 42 Solar Fit installations and this year a resident is also moving forward with a solar installation. As of 2020 solar options are net metering, which allows you to send electricity generated from a renewable energy source to the Orangeville Hydro system for credit towards your electricity costs. Any excess credit can also be carried forward for 12 consecutive months. These programs are in line with the Town of Orangeville Sustainable Neighbourhood Action Plan.

6 Reports and Items for Discussion

6.1 Hutchinson Court Naturalization

Shaun and Jean Booth presented their volunteer project initiative ideas for the Hutchinson Court trail way. The concept is to remove weeds and replant the area with more native plants and to increase pollinators. The Booths have estimated the cost of plants and seeds to be approximately \$2,000. Currently, Parks cuts five feet back off the trail. There was a council report on naturalization of this area and council's direction was to leave this as a naturalized area. Mr. Booth believes he can obtain a volunteer group and neighbouring homeowners to assist. A formal plan and plants list can be sent to the committee to be reviewed by the Town Horticulturalist and CVC. It is suggested that educational and interpretive signage be erected on benefits of the area being a pollinator garden.

That the Hutchinson trail project plans be sent to the committee to first be approved by the Town's Parks Division and reviewed by CVC.

And that the Sustainable Orangeville committee will allocate up to \$2,000 for the Hutchinson Court trail naturalization / pollinator garden planting if the plans are approved.

6.2 Update on McCannell Entrance Garden and Baby Tree Forest maintenance

Mark Whitcombe sent photos to the committee on the McCannell entrance gardens. Parks and Horticulture immediately cleaned up the entrance garden and additional work is to be completed in Spring. Plants that require fertilization have been blue marked.

Baby Tree forest maintenance has begun by parks staff. The Parks Division has had limited staff over the summer. The Horticultural staff is back and assisting with this maintenance. There are two forests in particular: Rebecca Hills and Kin Family Parks that require a lot of maintenance. A tree spade is being rented to space out the trees within these parks.

6.3 Update on Hens By-law and Educational Materials

Max Waters presented and advised the committee on education materials available on urban hen keeping. Ms. Waters will send over a list with website links of good information. One committee member suggested a private Facebook group for the pilot project participants to share ideas.

**6.4 Budget 2020 allocation of funds / 2021 budget workplan
2021 Initiative Ideas:**

Urban Harvest program has requested an allocation of \$3,000 for 2021. Welcome Home Garden Kits for residents that want to have a vegetable garden. A residential tree planting program with a giveaway / opportunity to homeowners to plant a tree. For further discussion at the next committee meeting.

6.5 Environmental Reserve Fund update

Jeff Lemon addressed the committee with criteria, scope and application ideas for Environmental projects funding. The committee has reserves that are surplus budget funds from prior years. The committee also discussed the option of a Sustainability projects grant program. Mr. Lemon will distribute the framework and concept notes to the committee for discussion at the next meeting.

7 New Business

7.1 Sustainability Coordinator position

Councillor Grant Peters address the committee members advising of the benefits of the Town having a full-time Sustainability Co-ordinator. This was also one of the SNAP recommendations. A motion of support from the committee will assist tabling this topic during budget deliberations.

That the Sustainable Orangeville committee endorses the position of a full-time Sustainability Co-ordinator at the Town of Orangeville.

Moved by M. Whitcombe

Carried.
Recommendation Number 04

8 Date of Next Meeting

The scheduled December 1, 2020 committee meeting will be cancelled and therefore the next scheduled meeting is January 5, 2020.

That the December 1, Sustainable Orangeville committee meeting be cancelled.

Moved by M. Rowley

Carried.
Recommendation Number 05

9 Adjournment

Adjourned at 9:05 p.m.



The Corporation of the Town of Orangeville

By-law Number _____

A By-law to Adopt Amendment No. 127 to the Official Plan (2040771 Ontario Inc.; OPZ 4/19).

The Council of the Corporation of The Town of Orangeville, in accordance with the provisions of Section 22 of the Planning Act, R.S.O. 1990, c.P.13 and amendments thereto, hereby enacts as follows:

1. Amendment No. 127 to the Official Plan for The Town of Orangeville, consisting of the attached explanatory text and maps is hereby adopted.

Passed in open Council this 14th day of December, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

**The Official Plan
for the
Town of Orangeville
Amendment No. 127**

The attached explanatory text and map, constituting Amendment Number 127 to the Official Plan for the Town of Orangeville, was adopted by the Council of the Corporation of the Town of Orangeville, under the provisions of Section 22 of the Planning Act, R.S.O., 1999, C. P.13 on December 14, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

**The Official Plan
for The Town of Orangeville
Amendment No. 127**

Part A – The Preamble

1. Purpose of the Amendment

The purpose of the amendment is to re-designate the subject lands from “Open Space Conservation” and “Residential” to “Residential” on Schedule ‘A’ and to “Low Density Multiple” on Schedule ‘C’ to permit 33 condominium townhouse units on the subject lands.

2. Location

This amendment applies to the lands described as Parts 1 and 2, Registered Plan 6535 and Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway. The lands comprise 1.107 hectares and are located on the south east corner of Broadway and Riddell Road.

3. Basis of the Amendment

The surrounding land uses generally consist of a mixture of commercial and industrial uses to the north (opposite to Broadway, within the Township of Amaranth), low and medium-density residential developments to the east, south and west, with conservation lands also immediately surrounding the subject properties.

On December 2, 2019 a statutory public meeting was held for public review and comment. The property is located in a Greenfield Area as identified on Schedule B1 (Built Boundary) to the Town’s Official Plan and subject to policies E1.11 which encourages development that contributes to complete communities, provides a diverse mix of land uses and complements the established character of the neighbours. Greenfield developments should contribute to achieving an overall density of 46 residents and jobs per hectare.

An official plan amendment is needed, since the “Low Density Residential” designation does not permit townhouses. In preparing the current amendment, the Town has considered several planning objectives, constraints and interests of the community. The development of the lands will allow for a form of development and tenure that appears to be in demand in the Town of Orangeville. The development proposed will contribute to the Town’s objectives to provide a range and mix of housing options. The proposed amendment complies with the intent of the Official Plan policies of section I12 related to the criteria that is to be considered when amending the plan.

The basis for this amendment is as follows:

1. The proposed development is consistent with the Provincial Policy Statement.
2. The proposed development conforms to the Growth Plan for the Greater Golden Horseshoe.
3. The proposed development conforms to the Dufferin County Official Plan.
4. The proposed development conforms to the general intent and purpose of the Town of Orangeville Official Plan.
5. The density of the proposed development contributes towards and achieving and overall Greenfield density of 46 units and jobs per hectare.
6. The proposed development is appropriate within the context of the existing neighbourhood context.
7. The proposed redevelopment will connect to full municipal services.

Part B – The Amendment

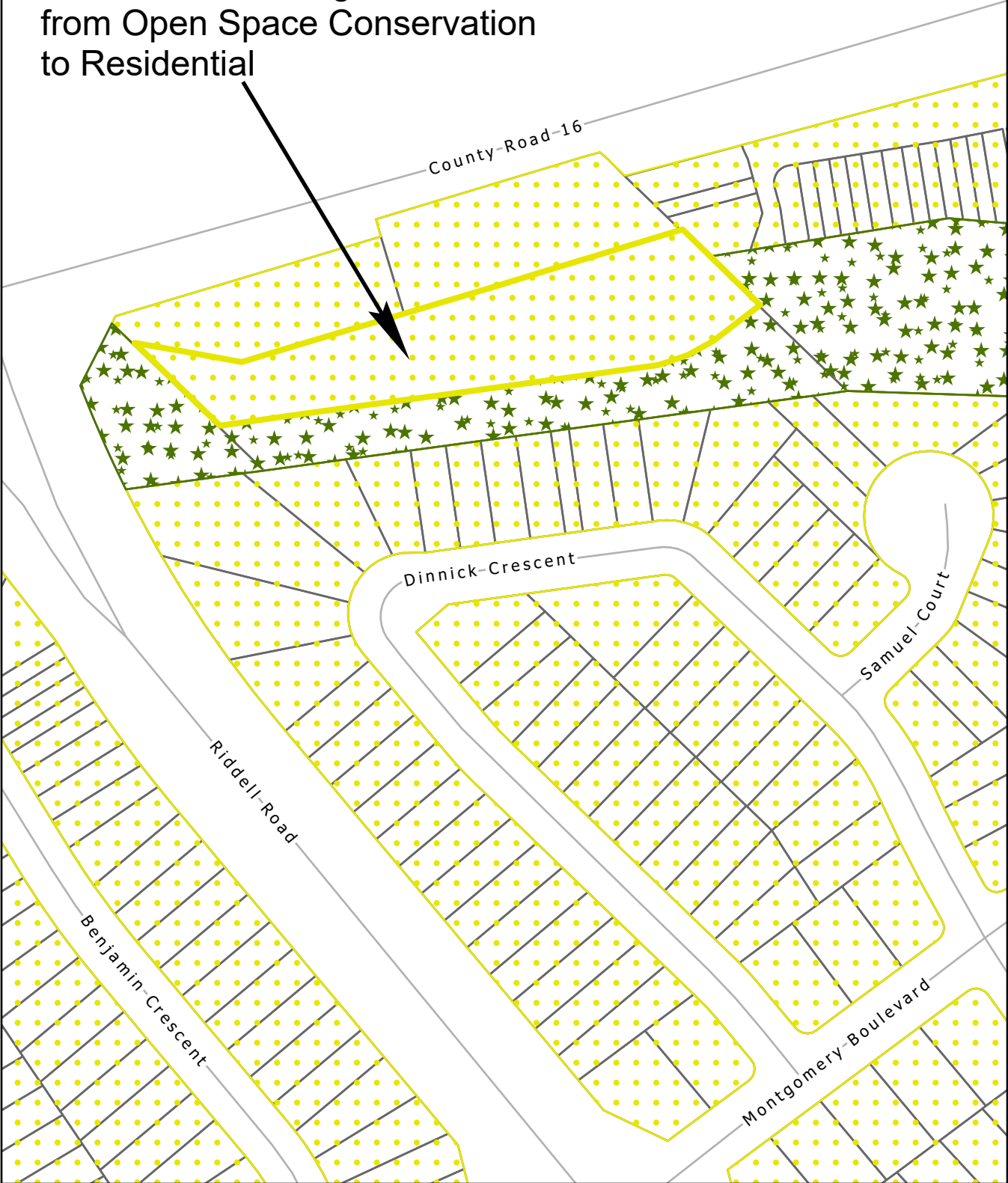
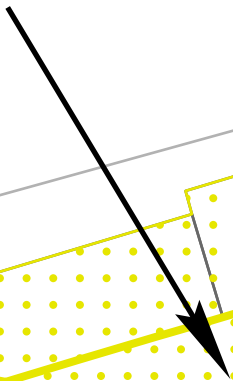
The Official Plan for the Town of Orangeville is amended as follows:

1. Schedule “A” “Land Use Plan” is hereby amended by designating the lands to “Residential” as shown on the attached Schedule “A” to this amendment.
2. Schedule “C” “Residential Density Plan” is hereby amended by designating the lands to “Low Density Multiple” as shown on Schedule “B” attached to this amendment.

Schedule 'A' to Official Plan Amendment No. 127



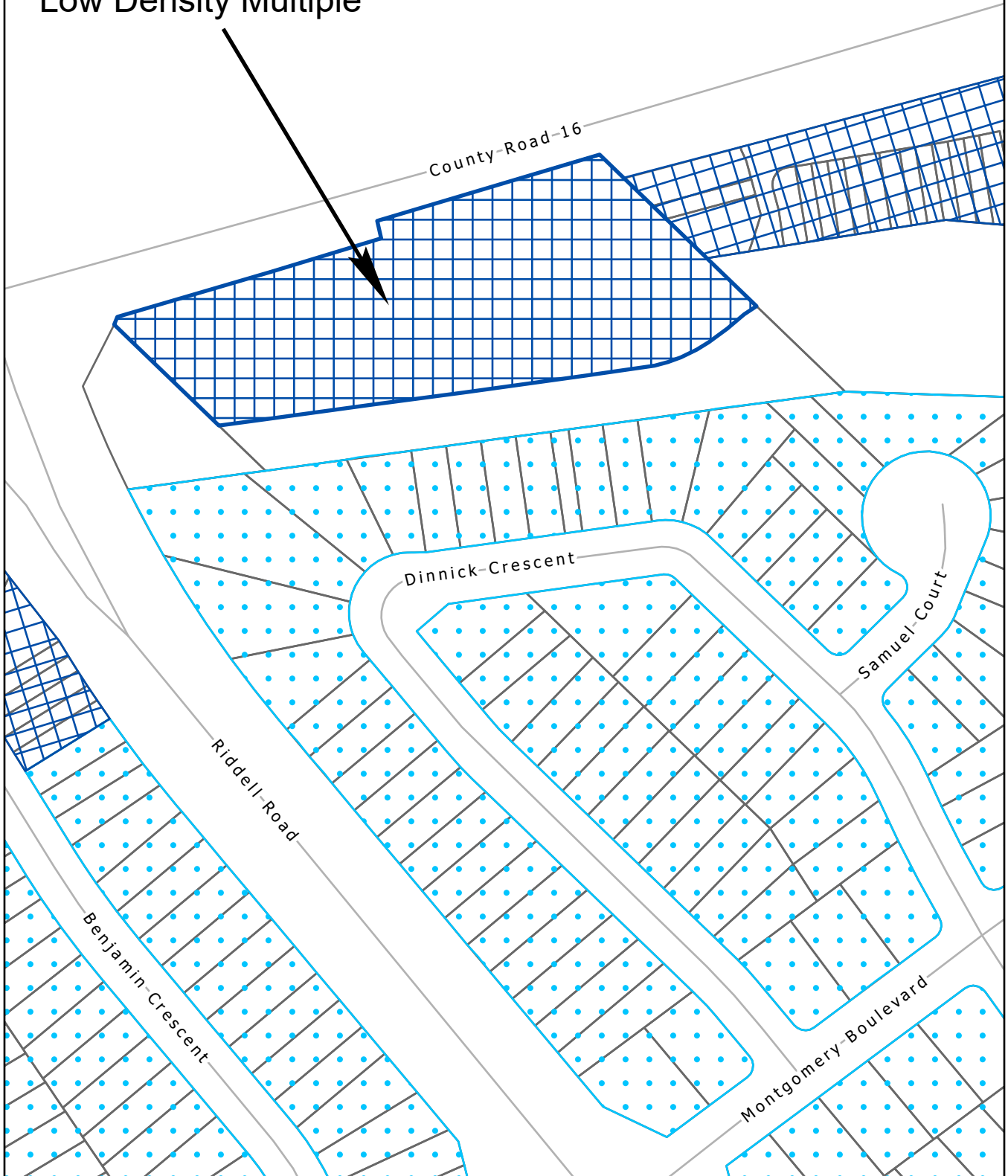
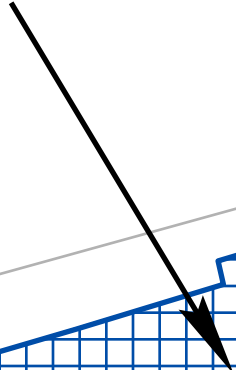
Lands to be redesignated
from Open Space Conservation
to Residential



Schedule 'B' to Official Plan Amendment No. 127



Lands to be designated
Low Density Multiple





The Corporation of the Town of Orangeville

By-law Number _____

A By-law to amend Zoning By-law No. 22-90 as amended, with respect to Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway

2040771 Ontario Inc., OPZ 4/19

Whereas the Council of the Corporation of the Town of Orangeville is empowered to pass By-laws to permit the use of land pursuant to Sections 34 and 36 of the Planning Act, RSO 1990, as amended;

And whereas Council considers it desirable to pass a By-law to amend Zoning By-law No. 22-90, as amended, to permit the use of Part of Lot 5, Concession C, municipally known as 670 and 690 Broadway, as a 33-unit townhouse development.

Be it therefore enacted by the municipal Council of The Corporation of the Town of Orangeville as follows:

1. That Schedule "A", Maps C1 and C2 to Zoning By-law No. 22-90, as amended, is hereby further amended by rezoning the lands as depicted on Schedule "A" attached to this By-law.
2. That Section 24 of By-law 22-90, as amended, is hereby further amended by adding the following thereto:

"24.225 Notwithstanding the provisions of Sections 12.2, the following provisions shall apply to the lands zoned as Multiple Residential Medium Density (RM1) Zone, Special Provision 24.225:

1) Maximum Density 32 units per hectare

Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Public Road (measurements taken from the Public Road):

1) Lot Area (minimum) 140.0 square metres per dwelling unit

- | | | |
|----|---|--------------------------------------|
| 2) | Lot Frontage (minimum) | 7.8 metres per dwelling unit |
| 3) | Exterior Side Yard (minimum)
to a Private Street | 3.5 metres |
| 4) | Rear Yard (minimum) | 4.0 metres |
| 5) | Building Height (maximum) | 12.0 metres |
| 6) | Lot Coverage (maximum) | 62% |
| 7) | Ground Floor Area (minimum) | 55.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) covered porches and stairs are permitted to encroach a maximum of 2.75 metres into the minimum required rear yard; and
- b) balconies shall be permitted to encroach a maximum of 1.8 metres into the minimum required front yard.

Regulations for Townhouse Dwellings having frontage to Individual Dwelling Units from a Private Street (measurements taken from the Private Street):

- | | | |
|----|-----------------------------|---------------------------------------|
| 1) | Lot Area (minimum) | 160.0 square metres per dwelling unit |
| 2) | Lot Frontage (minimum) | 5.8 metres per dwelling unit |
| 3) | Front Yard (minimum) | |
| | - to front of dwelling | 5.0 metres |
| | - to garage | 6.0 metres |
| 4) | Lot Coverage (maximum) | 50% |
| 5) | Ground Floor Area (minimum) | 75.0 square metres per dwelling unit |

Notwithstanding the minimum required front, exterior side and rear yards, the following encroachments are permitted:

- a) unroofed, unexcavated, unenclosed decks and stairs attached to the main building are permitted to encroach a maximum of 4.5 metres into the minimum required rear yard."

Holding Symbol

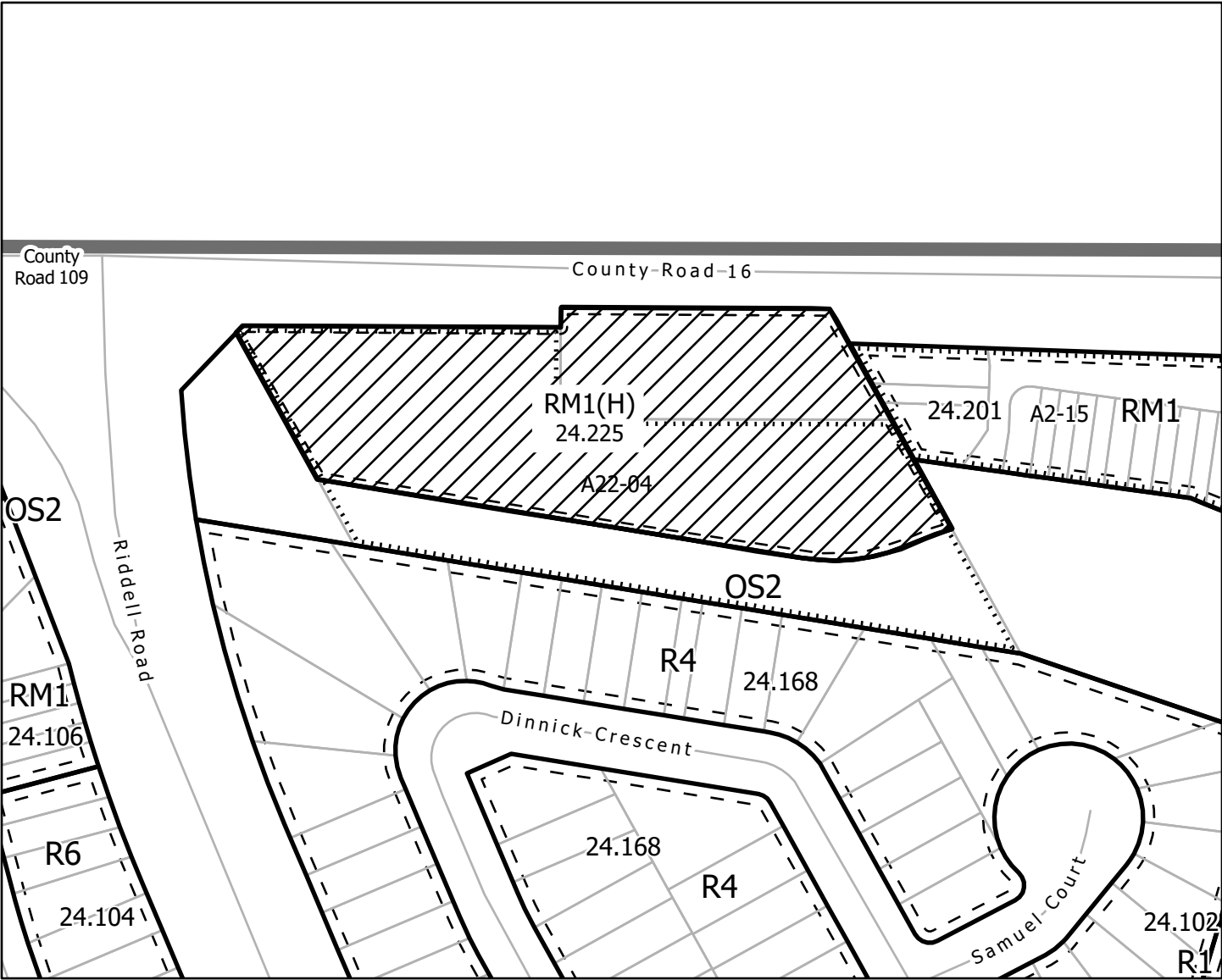
The Holding Symbol (H) shall only be removed from all or a portion of the lands when the Town is satisfied that:

- 1) there is sufficient water supply and sewage treatment capacity to service the development or portion thereof as the case may be.

Passed in open Council this 14th day of December, 2020.

Sandy Brown, Mayor

Karen Landry, Clerk

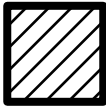


The Corporation of The Town of Orangeville
Schedule 'A' Town of Orangeville Zoning By-law 22-90

Schedule **"A"** to by-law
Passed the _____ day of _____

Mayor

Clerk

 Lands to be rezoned from
Development (D) Zone to Multiple
Residential Medium Density (RM1)
(H) Zone, S.P. 24.225



The Corporation of the Town of Orangeville

By-law Number 2020

A by-law to authorize the entering into and execution of an Agreement of Purchase and Sale with Metrolinx

Whereas the Municipal Act, 2001, S.O. 2001, c.25, S.9 provides a municipality with the powers of a natural person for the purpose of exercising its authority under this or any other Act;

And whereas Council deems it expedient to enter into an agreement of purchase and sale with Metrolinx to acquire lands located at 30 Centennial Road, Orangeville, legally described as Part of Lot 23, RCP 335, Pt 1, 7R642.

Now therefore be it resolved that Council for The Corporation of the Town of Orangeville hereby enacts as follows:

1. That Council authorizes entering into of an agreement of purchase and sale dated December 14, 2020 with Metrolinx.
2. That the Mayor and Clerk are hereby authorized to execute the said agreement and any other documents ancillary to the agreement.

Read three times and finally passed this 14th day of December, 2020

Sandy Brown, Mayor

Karen Landry, Clerk



The Corporation of the Town of Orangeville

By-law Number - 2020

A By-Law to provide for the levy and collection of rates or levies for the Town of Orangeville for the interim levy for the year 2021.

Whereas section 317(1) of the Municipal Act, S.O. 2001, c.25, as amended, provides for interim tax levies:

Be it therefore enacted by the Municipal Council of the Corporation of the Town of Orangeville as follows:

1. That the interim tax levy for 2021 shall equal but not exceed 50% of the total amount of taxes levied on each property in the Town of Orangeville for municipal and school purposes for the previous year (2020).
2. That for purposes of the preceding calculation, if any taxes for municipal and school purposes were levied on a property for only part of the previous year because assessment was added to the collector's roll during the year, an amount shall be added equal to the additional taxes that would have been levied on the property if the taxes for municipal and school purposes had been levied for the entire year.
3. That the taxes shall be payable in two installments as follows for all property classes:
 - i. February 23rd, 2021
 - ii. April 27th, 2021
4. That a penalty charge of one and one quarter (1.25) per cent of the amount of taxes due and unpaid be added on the first day of default and on the first day of each calendar month thereafter in which default continues, as set out in the Municipal Act.
5. That the Treasurer for the Town of Orangeville is hereby authorized to mail or cause to be mailed, the notice specifying the amount of taxes payable by any person liable for taxes, to the address of the person or persons to whom such notice is required.

6. That taxes are payable at the Municipal Office, 87 Broadway, Orangeville, Ontario, L9W 1K1.

Passed in open Council this 14th day of December 2020

Sandy Brown, Mayor

Karen Landry, Clerk



The Corporation of the Town of Orangeville

By-law Number 2020

A by-law to authorize the entering into and execution of a Conditional Flow Through Grant Agreement - SBEC with the Business Advisory Centre Durham Inc.

Whereas the Municipal Act, 2001, S.O. 2001, c.25, S.9 provides a municipality with the powers of a natural person for the purpose of exercising its authority under this or any other Act;

And whereas Council deems it expedient to enter into a Conditional Flow Through Grant Agreement -SBEC with the Business Advisory Centre Durham Inc.

Now therefore be it resolved that Council for The Corporation of the Town of Orangeville hereby enacts as follows:

1. That Council authorizes entering into of a Conditional Flow Through Grant Agreement -SBEC with the Business Advisory Centre Durham Inc. dated December 14, 2020.
2. That the Mayor and Clerk are hereby authorized to execute the said agreement and any other documents ancillary to the agreement.

Read three times and finally passed this 14th day of December, 2020

Sandy Brown, Mayor

Karen Landry, Clerk



The Corporation of the Town of Orangeville

By-law Number 2020

A by-law to confirm the proceedings of the Council of The Corporation of the Town of Orangeville at its regular and closed Council Meeting held on December 14, 2020

Whereas Section 5 (1) of the Municipal Act, 2001, as amended, provides that the powers of a municipal corporation shall be exercised by its council;

And whereas Section 5 (3) of the Municipal Act, 2001, as amended, provides that municipal powers shall be exercised by by-law;

Be it therefore enacted by the municipal Council of The Corporation of the Town of Orangeville as follows:

1. That all actions of the Council of The Corporation of the Town of Orangeville at its regular and closed Council Meeting held on December 14, 2020, with respect to every report, motion, by-law, or other action passed and taken by the Council, including the exercise of natural person powers, are hereby adopted, ratified and confirmed as if all such proceedings were expressly embodied in this or a separate by-law.
2. That the Mayor and Clerk are authorized and directed to do all the things necessary to give effect to the action of the Council of The Corporation of the Town of Orangeville referred to in the preceding section.
3. That the Mayor and the Clerk are authorized and directed to execute all documents necessary in that behalf and to affix thereto the seal of The Corporation of the Town of Orangeville.

Passed in open Council this 14th day of December, 2020

Sandy Brown, Mayor

Karen Landry, Clerk